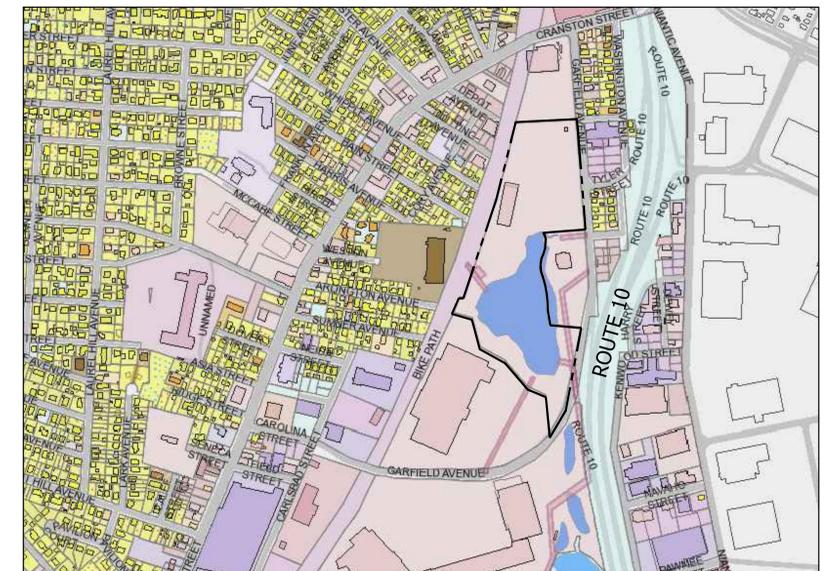
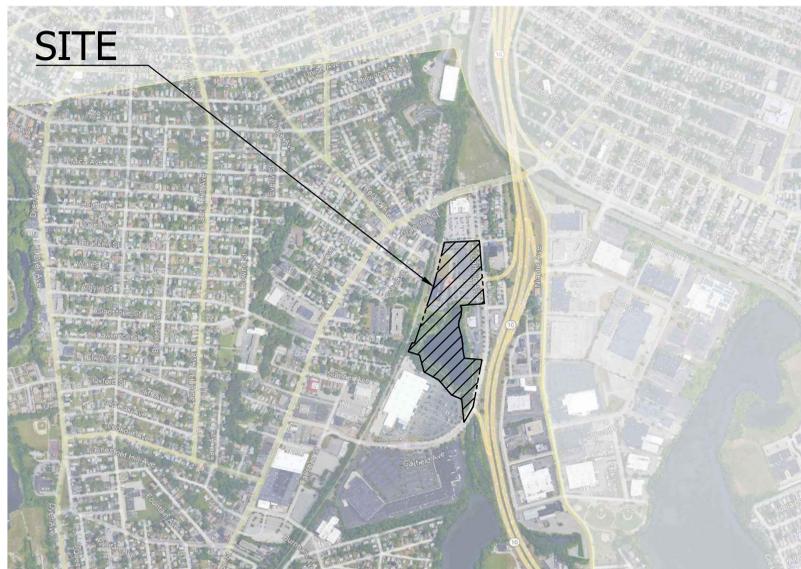


Achievement First

ILUMINAR SCHOOL ADDITION

ADDRESS: 85 GARFIELD AVE, CRANSTON, RI 02920

PROJECT NUMBER: 21012.02



VOLUME 1 OF 1

DPR REVIEW

2/7/2023

KAESTLE BOOS ASSOCIATES, INC. KAESTLE BOOS associates, inc ARCHITECTURAL, INTERIORS & LANDSCAPE

PARISEAULT BUILDERS PARISEAULT BUILDERS CONSTRUCTION MANAGEMENT

B+AC, LLC ● ● STRUCTURAL ENGINEER

AKAL ENGINEERING, INC. ● ● MECHANICAL, PLUMBING & FIRE PROTECTION ENGINEER

ELECTRICAL SYSTEMS ENGINEERING, INC. ● ● ELECTRICAL ENGINEER

GOOD HARBOR TECHMARK, LLC ● ● SECURITY CONSULTANT

P.H.HAWLEY ASSOCIATES, LLC ● ● HARDWARE CONSULTANT

GREEN INTERNATIONAL AFFILIATES, INC. ● ● CIVIL ENGINEER

DRAWING LIST:

-	COVER SHEET
1 of 1	SITE SURVEY
L1.00	OVERALL SITE PLAN
L1.01	SITE DEMOLITION PLAN
L2.01	SITE LAYOUT
L3.01	MATERIALS PLAN
L4.01	SITE GRADING PLAN
L5.01	SITE PLANTING PLAN
L6.01	SITE DETAILS
L6.02	SITE DETAILS
L6.03	SITE DETAILS
C1.00	CIVIL NOTES
C1.01	SITE PREPARATION AND EROSION CONTROL PLAN
C1.02	SITE UTILITIES & DRAINAGE PLAN
C2.01	CIVIL DETAILS 1
C2.02	CIVIL DETAILS 2
C2.03	CIVIL DETAILS 3

GENERAL NOTES

- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 7/2, LOT 91 IN THE CITY OF CRANSTON, PROVIDENCE, RHODE ISLAND.
- THE OWNER OF MASTER UNIT 1 PER DEED BOOK 6466, PAGE 305 IS ACHIEVEMENT FIRST RHODE ISLAND, INC.
- THE PARCEL IS LOCATED IN ZONE X PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 44007C032H, DATED OCTOBER 2, 2015.
- THE PARCEL IS ZONED C-4 (HIGHWAY BUSINESS) PER THE ASSESSOR'S ONLINE DATABASE. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING IN SPRING OF 2015, AND AUGUST OF 2021. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
- THERE WERE CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- PLEASE REFER TO RHODE ISLAND GENERAL LAW § 23-23-18-II FOR BUILDING REQUIREMENTS AROUND A HISTORIC CEMETERY.
- DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR AN ARCHAEOLOGICAL INVESTIGATION NEEDED TO DETERMINE THE BOUNDARIES OF THE UNMARKED CEMETERY AS REQUIRED BY RHODE ISLAND GENERAL LAW § 23-23-18-II SUBSECTION 2C. THE APPROXIMATE AREA OF THE UNMARKED CEMETERY THE AREA SHOWN ON THIS SURVEY IS BASED SOLELY ON THE LOCATION OF THE HEADSTONE FOUND IN THE FIELD AT THE TIME OF THE SURVEY ON OCTOBER 17, 2011.
- WETLAND FLAGS WERE DELINEATED BY LEC ENVIRONMENTAL CONSULTANTS, INC.

PLAN REFERENCES:

- FINAL PLAT GARFIELD OFFICE GREEN A.K.A. BREWERY PARKADE PARCEL 1 & 2 AREA = 1,028,449 S.F. = 23.61 ACRES OWNERS: C.P. ASSOCIATES L.L.C. 149 COLONIAL ROAD CONNECTICUT 06040 DATE: APRIL 18, 2002 REV. 1/24/03 PREPARED BY GEORGE J. GEISSER, III. RECORDED IN THE CITY OF CRANSTON LAND EVIDENCE RECORDS AS PLAT CARD 689 ON MAP 424.
- FINAL PLAT, CRANSTON POLICE STATION PLAT A.K.A. GARFIELD OFFICE GREEN PHASE 2, GARFIELD AVENUE CRANSTON, RHODE ISLAND, ASSESSORS PLAT 7, LOT 91 OWNERS: C.P. ASSOCIATES L.L.C. 149 COLONIAL ROAD CONNECTICUT 06040 PREPARED BY GEISSER ENGINEERING CORPORATION. RECORDED IN THE CITY OF CRANSTON LAND EVIDENCE RECORDS AS PLAT CARD 720 ON MAP 505.
- ADMINISTRATIVE SUBDIVISION OF THE CRANSTON PARKADE CRANSTON, RHODE ISLAND PROVIDENCE COUNTY SCALE: 1"=120', NOV. 18, 2000, REV. 1-22-2001 PREPARED BY LUNAR MAPPING UNLIMITED. RECORDED IN THE CITY OF CRANSTON LAND EVIDENCE RECORDS AS PLAT CARD 660 ON MAP 346.
- FINAL PLAT - PHASE I THE CRANSTON PARKADE, GARFIELD AVENUE, CRANSTON, RHODE ISLAND PREPARED FOR NEW FIRST HARTFORD REALTY CORPORATION, PREPARED BY CROSSMAN ENGINEERING, INC. SHEET 5 OF 50, LAST REVISED 9-19-2000. RECORDED IN THE CITY OF CRANSTON LAND EVIDENCE RECORDS AS PLAT CARD 657 ON MAP 338.
- PROPOSED PROPERTY LINE MAP AND FULL EASEMENT LOCUS MAP OF PROPERTY LOCATED IN CRANSTON, RHODE ISLAND PROVIDENCE COUNTY SCALE: 1"=150', AUG. 14, 2000 LAST REVISED 9-19-2000. RECORDED IN THE CITY OF CRANSTON LAND EVIDENCE RECORDS AS PLAT CARD 657 ON MAP 337.
- RHODE ISLAND DEPARTMENT OF TRANSPORTATION CONTRACT DRAWINGS FOR CONTRACT NO. 2001-CH-031
- RHODE ISLAND HIGHWAY PLAT NO. 2410.
- PLAN OF PART OF THE ALMORAN HARRIS ESTATE, CRANSTON, RI SURVEYED BY JOHN HOWE, DECEMBER, 1874, SCALE 1"=100'
- CEMETERY DEED BOOK IS PAGE 375.

DIMENSIONAL REGULATIONS:

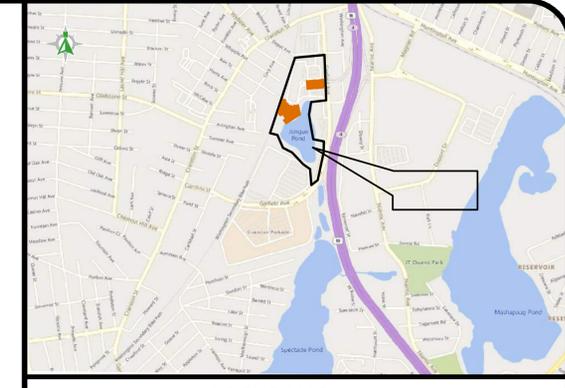
CURRENT ZONING:	C-4 (HIGHWAY BUSINESS)
MINIMUM LOT AREA:	12,000 SF
MINIMUM FRONT AND LOT WIDTH:	120'
MINIMUM FRONT YARD:	40'
MINIMUM SIDE YARD:	8'
MINIMUM REAR YARD:	20'
MAXIMUM STRUCTURE HEIGHT:	35'
MAXIMUM LOT COVERAGE:	50%

UTILITY NOTES

- ALL EXISTING UTILITIES DEPICTED ARE SHOWN ACCORDANCE WITH UTILITY QUALITY LEVEL C AS DEFINED IN C/ASSE STANDARD 38-02 (STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA), LATEST REVISION.
- ALL EXISTING UNDERGROUND UTILITIES SHOWN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
- PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
- DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED, ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.

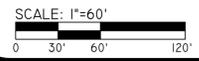
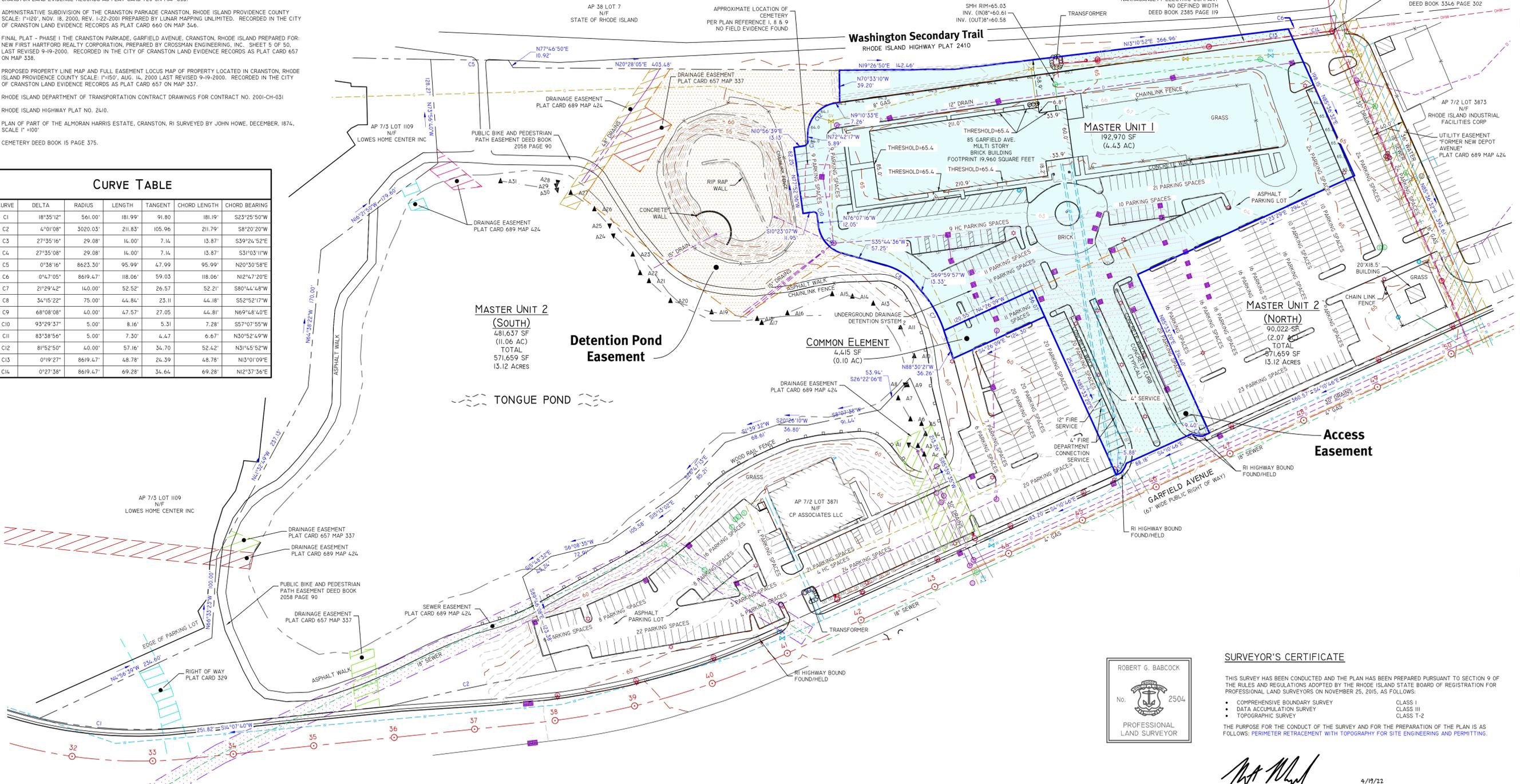
LEGEND

- | | | | | | |
|-------------|--------------------|---------|-----------------|---|--------------------|
| --- W --- | WATER LINE | 123/234 | DEED BOOK/PAGE | ○ | BOLLARD |
| --- S --- | SEWER LINE | AP | ASSESSOR'S PLAT | ○ | SOIL EVALUATION |
| --- SFM --- | SEWER FORCE MAIN | HC | HANDICAPPED | ■ | CATCH BASIN |
| --- G --- | GAS LINE | N/F | NOW OR FORMERLY | □ | DOUBLE CATCH BASIN |
| --- E --- | ELECTRIC LINE | LC | LANDSCAPING | □ | WATER VALVE |
| --- OHW --- | OVERHEAD WIRES | (R) | RECORD | □ | GAS VALVE |
| --- D --- | DRAINAGE LINE | (CA) | CHORD ANGLE | ▲ | WETLAND FLAG |
| --- | MINOR CONTOUR LINE | ○ | RECORD | ▲ | DRAINAGE MANHOLE |
| --- | MAJOR CONTOUR LINE | ○ | RECORD | ▲ | FLARED END SECTION |
| --- | PROPERTY LINE | ○ | RECORD | ○ | GUY POLE |
| --- | ASSESSORS LINE | ○ | RECORD | ○ | ELECTRIC MANHOLE |
| --- | TREELINE | ○ | RECORD | ○ | UTILITY/POWER POLE |
| --- | GUARDRAIL | ○ | RECORD | ○ | WELL |
| --- | FENCE | ○ | RECORD | ○ | MONITORING WELL |
| --- | RETAINING WALL | ○ | RECORD | ○ | BENCH MARK |
| --- | STONE WALL | ○ | RECORD | ○ | TREE |



CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD LENGTH	CHORD BEARING
C1	18°55'12"	561.00'	181.99'	91.80'	181.19'	S23°25'50"W
C2	4°01'08"	3020.03'	211.83'	105.96'	211.79'	S8°20'20"W
C3	27°35'16"	29.08'	14.00'	7.14'	13.87'	S39°24'52"E
C4	27°35'08"	29.08'	14.00'	7.14'	13.87'	S31°03'11"W
C5	0°38'16"	8623.30'	95.99'	47.99'	95.99'	N20°30'58"E
C6	0°47'05"	8619.47'	118.06'	59.03'	118.06'	N12°47'20"E
C7	21°29'42"	14.00'	52.52'	26.57'	52.21'	S80°44'48"W
C8	36°15'22"	75.00'	44.84'	23.11'	44.18'	S52°52'17"W
C9	68°08'08"	4.00'	47.57'	27.05'	44.81'	N69°48'40"E
C10	93°29'37"	5.00'	8.16'	5.31'	7.28'	S57°07'55"W
C11	83°38'56"	5.00'	7.30'	4.47'	6.67'	N30°52'49"W
C12	81°52'50"	4.00'	57.16'	34.70'	52.42'	N31°45'52"W
C13	0°19'27"	8619.47'	48.78'	24.39'	48.78'	N13°01'09"E
C14	0°27'38"	8619.47'	69.28'	34.64'	69.28'	N12°37'36"E



ROBERT G. BABCOCK
No. 2504
PROFESSIONAL LAND SURVEYOR

SURVEYOR'S CERTIFICATE
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:
• COMPREHENSIVE BOUNDARY SURVEY CLASS I
• DATA ACCUMULATION SURVEY CLASS III
• TOPOGRAPHIC SURVEY CLASS T-2
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: PERIMETER RETRACEMENT WITH TOPOGRAPHY FOR SITE ENGINEERING AND PERMITTING.

Robert G. Babcock
ROBERT G. BABCOCK, RIPLS #2504, COA #LS.000A160
4/19/22

Diprete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

NO.	DATE	REVISION/SURVEY DESCRIPTION	R.G.	D.P.
1	02/22/22	BOUNDARY SURVEY		

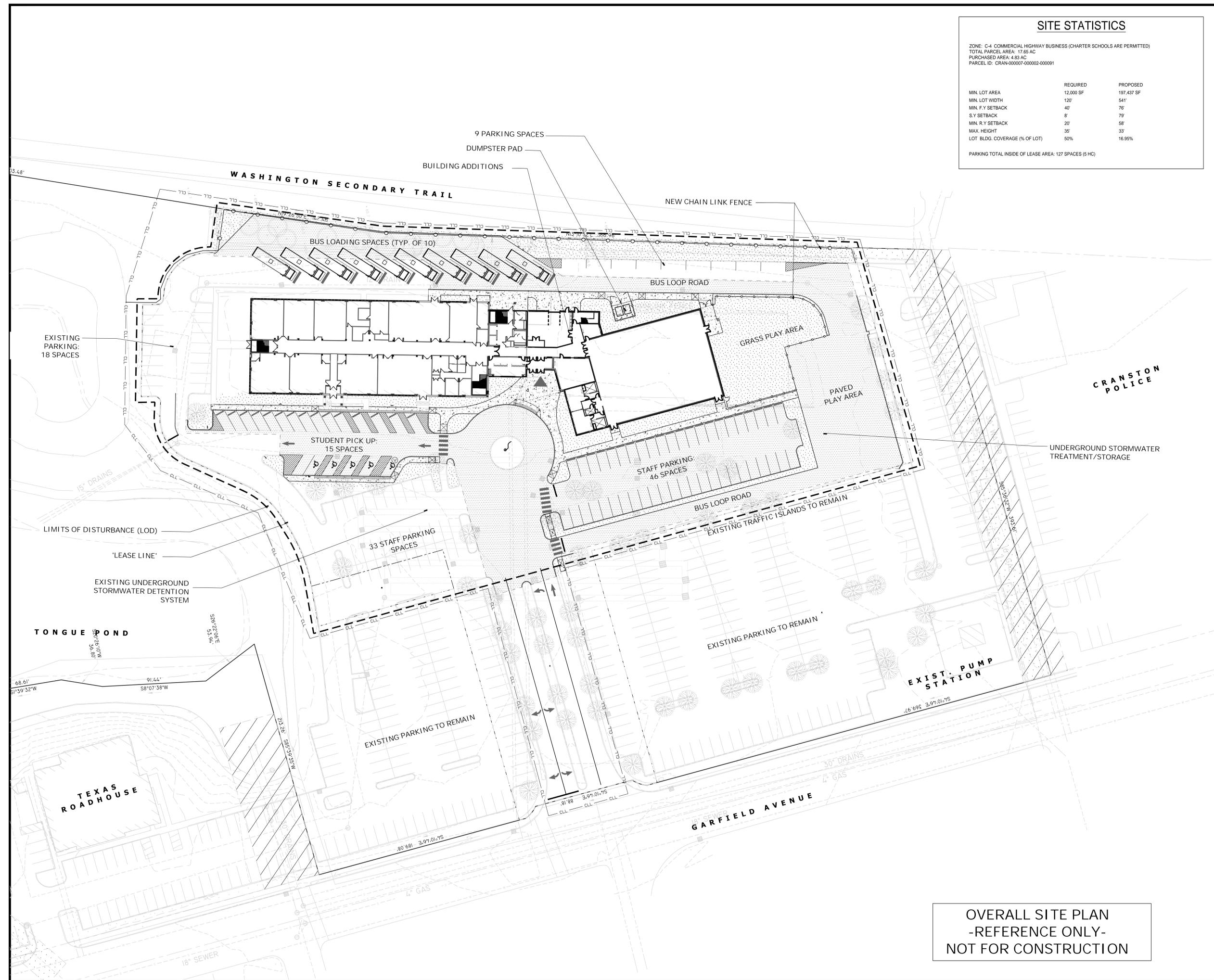
BOUNDARY SURVEY
85 GARFIELD AVENUE
ASSESSOR'S PLAT 7 LOT 91,
CRANSTON, RHODE ISLAND
PERIMETER RETRACEMENT WITH TOPOGRAPHY FOR SITE ENGINEERING AND PERMITTING
ACHIEVEMENT FIRST
335 ADAMS STREET, SUITE 700
BROOKLYN, NY 11201

SITE STATISTICS

ZONE: C-4 COMMERCIAL HIGHWAY BUSINESS (CHARTER SCHOOLS ARE PERMITTED)
TOTAL PARCEL AREA: 17.65 AC
PURCHASED AREA: 4.83 AC
PARCEL ID: CRAN-000007-000002-000091

	REQUIRED	PROPOSED
MIN. LOT AREA	12,000 SF	197,437 SF
MIN. LOT WIDTH	120'	541'
MIN. F.Y. SETBACK	40'	76'
S.Y. SETBACK	8'	79'
MIN. R.Y. SETBACK	20'	58'
MAX. HEIGHT	35'	33'
LOT BLDG. COVERAGE (% OF LOT)	50%	16.95%

PARKING TOTAL INSIDE OF LEASE AREA: 127 SPACES (5 HC)

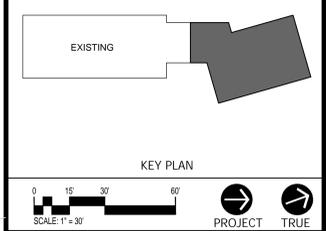


ISSUE DATE

DATE	DESCRIPTION
APRIL 29, 2022	ISSUED FOR RIDEM REVIEW
MAY 2, 2022	ISSUED FOR BID PRICING
AUGUST 18, 2022	24X36 LAYOUTS - RIDEM
FEBRUARY 7, 2023	DPR REVIEW

REVISIONS

DATE	DESCRIPTION



**ACHIEVEMENT
FIRST ILLUMINAR
SCHOOL ADDITION**

85 GARFIELD AVE, CRANSTON,
RI, 02920

PROJECT NO.: 21012.02 DRAWN BY: DGM

**OVERALL
SITE
PLAN**

DRAWING NO.:
OSP1.00

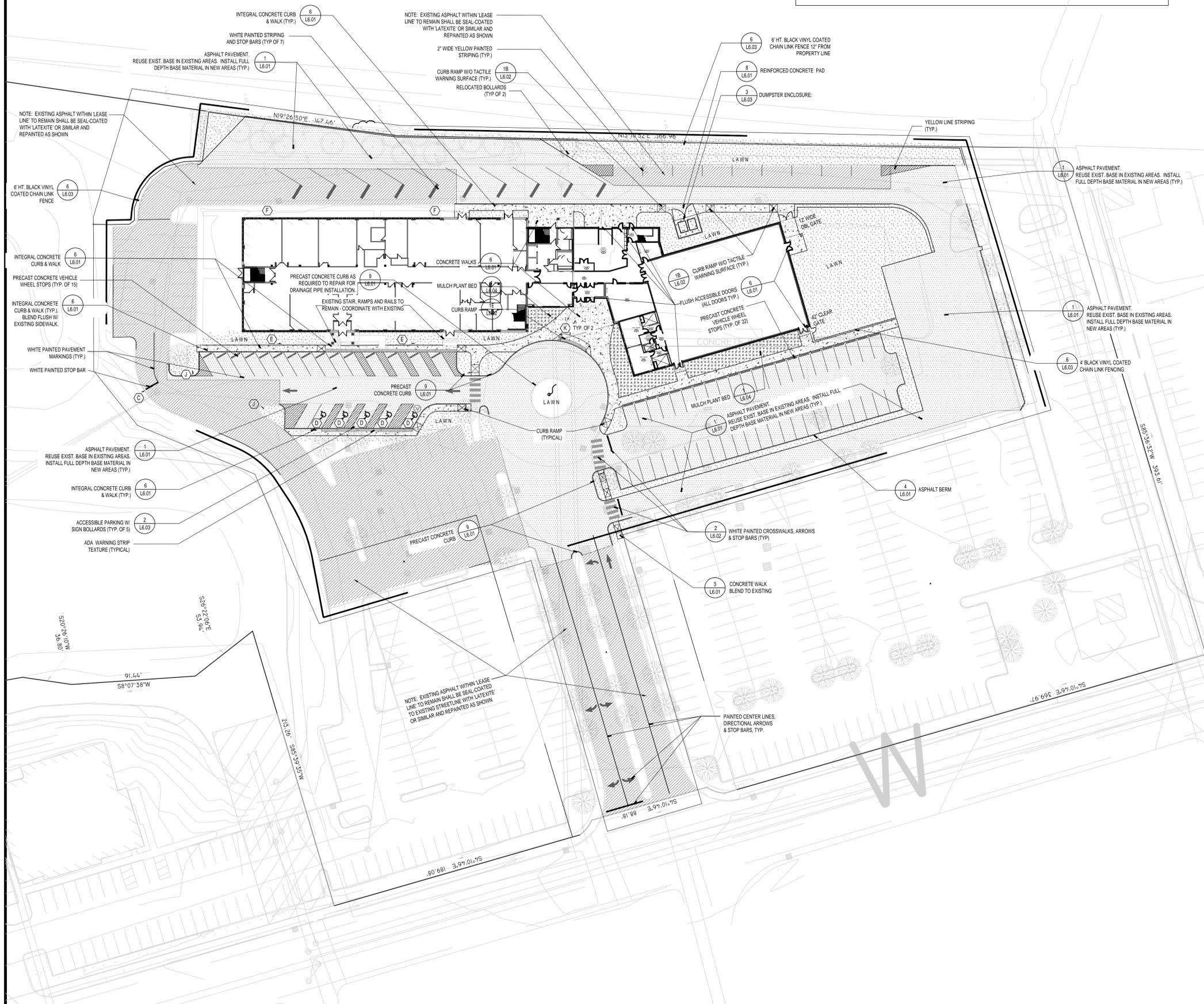
**OVERALL SITE PLAN
-REFERENCE ONLY-
NOT FOR CONSTRUCTION**

NOTES

1. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL MATERIALS INFORMATION.
2. REFER TO CIVIL DRAWINGS FOR ADDITIONAL MATERIALS AND LAYOUT INFORMATION REGARDING PAVEMENTS, CURBS & CONCRETE PADS.
3. REFER TO DETAILS FOR ADDITIONAL MATERIALS & LAYOUT INFORMATION.
4. INSTALL PRIVACY SLATS & BOTTOM RAIL ON CHAIN LINK FENCING AT DUMPSTER PAD (TYP.).
5. ALL PLANT BEDS NOT BOUND BY WALKS, BUILDING OR CURBING SHALL BE SURROUNDED BY METAL EDGING (REFER TO SPECS.). EDGING NOT REQUIRED AT INDIVIDUAL TREE PLANTINGS IN LAWN AREAS UNLESS OTHERWISE NOTED.
6. SEAL ALL CONCRETE JOINTS IN CONCRETE PAVEMENT & CURBING. INSTALL EXPANSION MATERIAL BETWEEN BUILDING & ABUTTING CONCRETE WALKS SEAL JOINT. PROVIDE COLOR MATCH SEALANT FOR ALL PAVEMENTS TO BE SELECTED BY LANDSCAPE ARCHITECT.
7. NOTE THAT TEXT ON MATERIALS PLAN IS MASKED FOR CLARITY. DESIGNATED MATERIALS WITHIN AREAS CONTINUE UNDER MASKED TEXT.

LEGEND

	PROPERTY LINE
	SETBACK LINE
	CONTRACT LIMIT LINE
	DETAIL REFERENCE TAG
	INDICATES MATERIAL CHANGE
	CONCRETE PAVEMENT
	LAWN
	ASPHALT PAVEMENT (DRIVE/PARKING)
	STONE MULCH PLANT BED
	RESEAL & REPAINT EXISTING ASPHALT PAVEMENT
	CURB
	FLUSH CURB
	CHAIN LINK FENCING
	GATES (TYP.)
	BOLLARDS
	BOLLARD W/ SIGN
	POST & SIGN
	SIDEWALK CURB RAMP W/ DETECTABLE WARNING SURFACE SET IN CONTINUOUS CONC. WALK

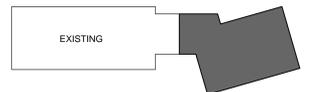


ISSUE DATE

DATE	DESCRIPTION
APRIL 29, 2022	ISSUED FOR RIDEM REVIEW
MAY 2, 2022	ISSUED FOR BID PRICING
AUGUST 18, 2022	24/30 LAYOUTS - RIDEM
FEBRUARY 7, 2023	DPR REVIEW

REVISIONS

DATE	DESCRIPTION
JULY 29, 2022	FENCE @ PROPERTY LINE



KEY PLAN



**ACHIEVEMENT
FIRST ILLUMINAR
SCHOOL ADDITION**

85 GARFIELD AVE, CRANSTON,
RI, 02920

PROJECT NO.: 21012.02 DRAWN BY: DGM

**SITE
MATERIALS
PLAN**

DRAWING NO.:

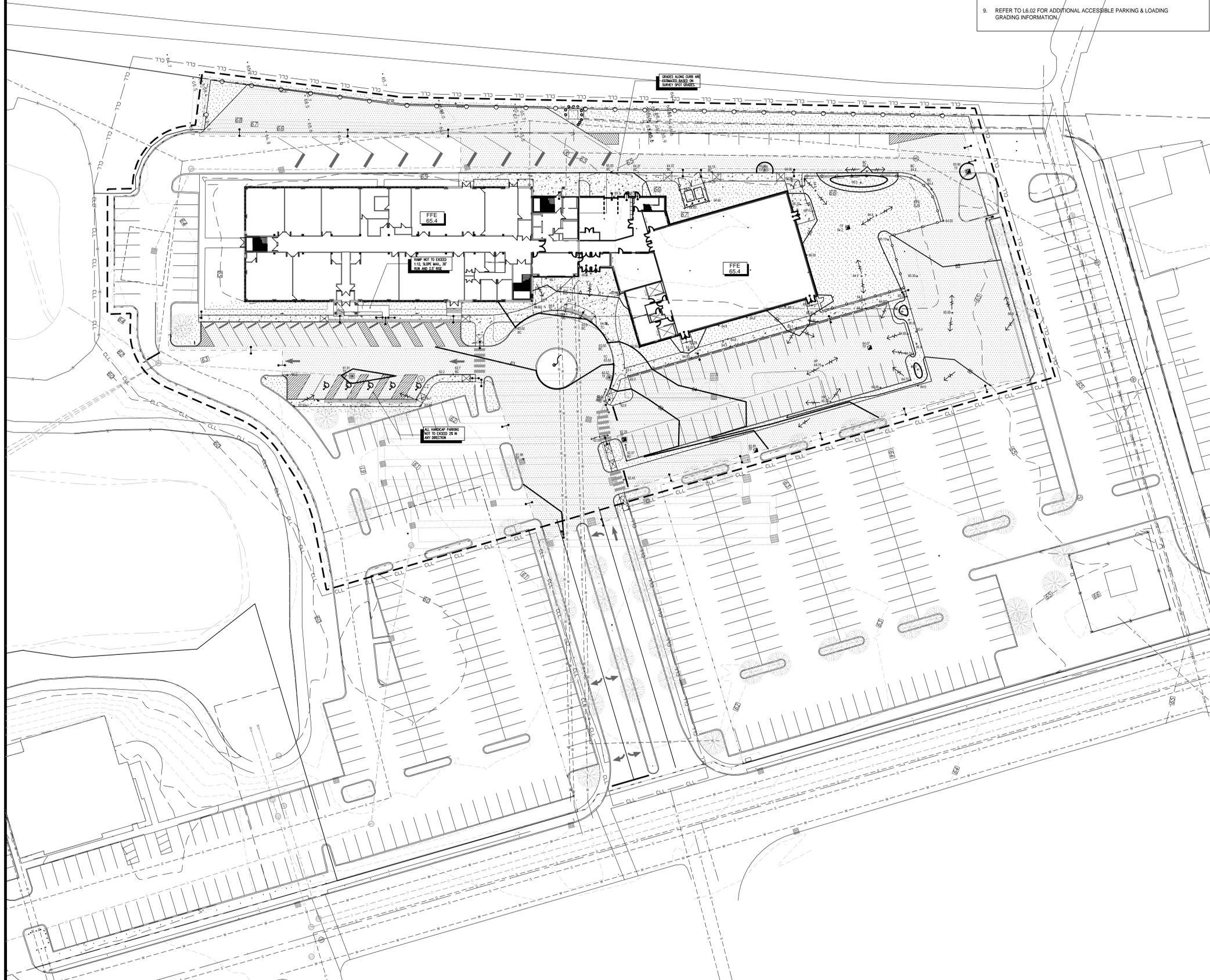
L3.01

GRADING NOTES

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS LAYOUT INFORMATION. BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION FOR REVIEW AND CLARIFICATION.
- SMOOTHLY BLEND ALL PROPOSED GRADES TO EXISTING CONDITIONS. ROUND OFF TOP AND TOE OF ALL SLOPES.
- SEE CIVIL DRAWINGS FOR ALL SITE DRAINAGE INFORMATION. 'L' SERIES GRADING PLANS ARE FOR SITE GRADING ONLY. REFER TO CIVIL DRAWINGS FOR CB, YD & MH ELEVATIONS.
- PAVED WALKS NOT TO EXCEED 5% (1:20) MAXIMUM SLOPE OR 2% (1/50) CROSS PITCH UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL HANDICAP PARKING SPACES, SEATING AREAS AND PASSENGER LOADING ZONES SHALL NOT EXCEED 2.0% (1/50) IN ANY DIRECTION.
- ALL BUILDING DOORS/EGRESSES SHALL BE FLUSH WITH ADJOINING MATERIAL UNLESS NOTED OTHERWISE.
- ALL EXPANSION JOINTS AND SCORE JOINTS SHALL BE FLUSH UNLESS NOTED OTHERWISE.
- CURB RAMPS SHALL NOT EXCEED 1/12 OR 2% CROSS PITCH.
- REFER TO L6.02 FOR ADDITIONAL ACCESSIBLE PARKING & LOADING GRADING INFORMATION.

GRADING LEGEND

- PROPERTY LINE
- SETBACK LINE
- BASE BID CONSTRUCTION LIMIT LINE
- AREA ENLARGEMENT
- HANDICAP ACCESSIBLE ROUTE (SLOPE NOT TO EXCEED 5% IN DIRECTION OF TRAVEL & SHALL BE MAX. 2% CROSS SLOPE. TYP.)
- EXISTING CONTOUR
- PROP. INTERMEDIATE CONTOUR
- PROP. INTERVAL CONTOUR
- SPOT ELEVATION
- FLUSH CONDITION
- CATCH BASIN
- AREA YARD DRAIN
- DRAINAGE ARROW
- F.F.E. FINISH FLOOR ELEVATION
- B.W. BOTTOM OF WALL
- T.W. TOP OF WALL
- B.S. BOTTOM OF STAIRS
- T.S. TOP OF STAIRS
- B.C. BOTTOM OF CURB
- T.C. TOP OF CURB
- T.F. TOP OF FRAME
- H.P. HIGH POINT
- L.P. LOW POINT
- CST CONSISTENT
- EXIST. EXISTING
- ACCESSIBLE ENTRANCE



ISSUE DATE

DATE	DESCRIPTION
APRIL 29, 2022	ISSUED FOR RIDEW REVIEW
MAY 2, 2022	ISSUED FOR BID PRICING
AUGUST 18, 2022	24/36 LAYOUTS - RIDEW
FEBRUARY 7, 2023	DPR REVIEW

REVISIONS

DATE	DESCRIPTION
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KEY PLAN



ACHIEVEMENT FIRST ILLUMINAR SCHOOL ADDITION

85 GARFIELD AVE, CRANSTON,
RI, 02920

PROJECT NO.: 21012.02 DRAWN BY: DGM

SITE GRADING PLAN

DRAWING NO.:

L4.01

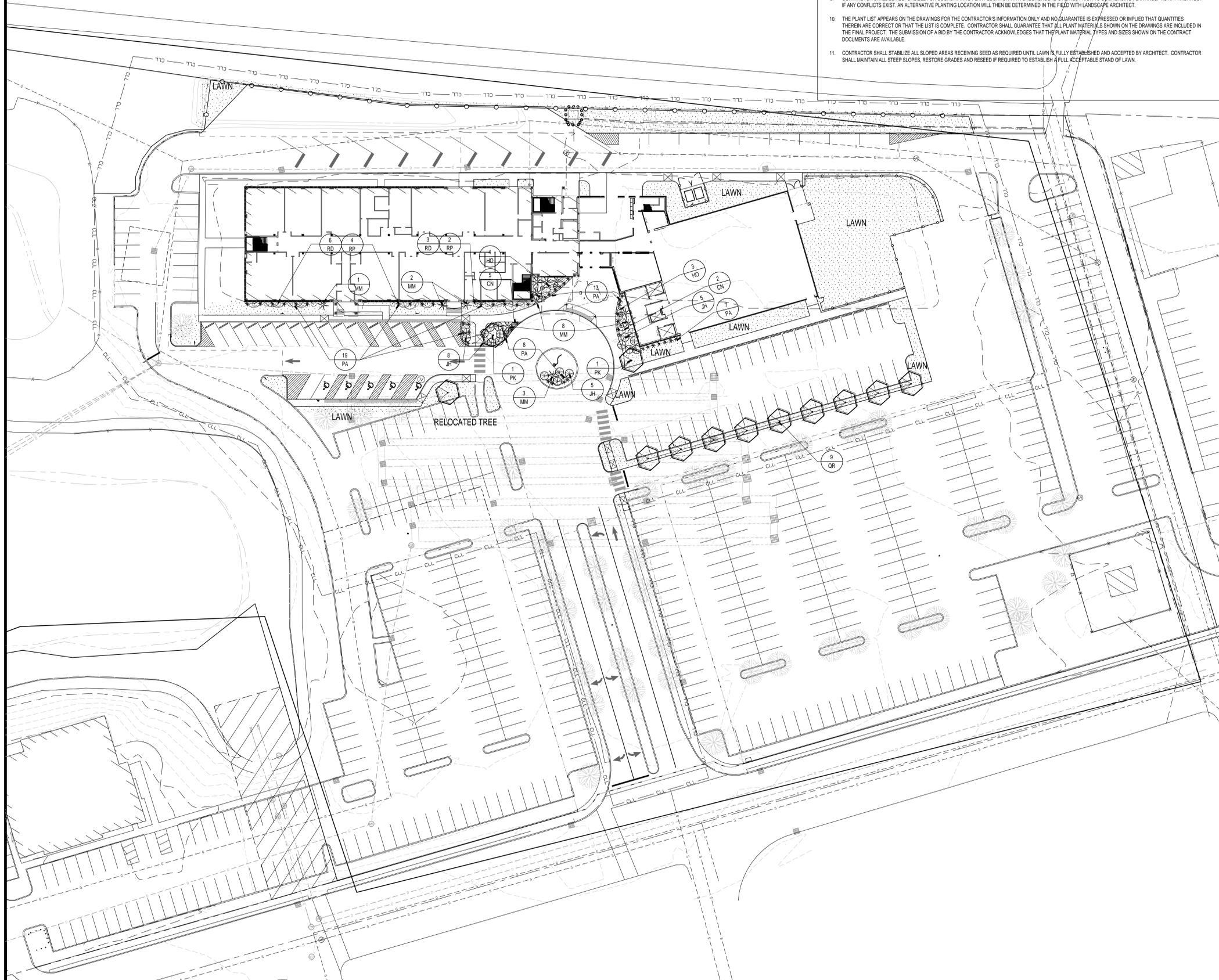
CODE	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
TREES				
PK	PRUNUS KANZAN	KWANZAN FLOWERING CHERRY	2 1/2' - 3' CAL	B+B
QR	QUERCUS RUBRA	RED OAK	2 1/2' - 3' CAL	B+B
SHRUBS				
CN	CHAMAECYPARIS OBTUSA 'NANA'	HINOKI CYPRESS	3 GAL	CONT.
JH	JUNIPERUS HORIZONTALIS 'BLUE RUG'	BLUE RUG JUNIPER	3 GAL	CONT.
RD	ROSA DOUBLE PINK KNOCK OUT	DOUBLE PINK KNOCK OUT ROSE	3 GAL	CONT.
RP	ROSA KNOCK OUT PEACHY	KNOCK OUT PEACHY LANDSCAPE ROSE	3 GAL	CONT.
PERENNIALS & ORNAMENTAL GRASSES				
MM	MISCANTHUS SINENSIS MORNING LIGHT	MORNING LIGHT MAIDEN GRASS	3 GAL	CONT.
PA	PENNISETUM ALOPECUROIDES 'HALEM'	DWARF FOUNTAIN GRASS	3 GAL	CONT.
HO	HOSTA 'FIRST FROST'	FIRST FROST HOSTA	2 GAL	CONT.

NOTES

- ALL EXTERIOR GROUND AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY BUILDINGS, STRUCTURES, PAVING, CONTINUOUS PLANTING BEDS OR OTHER SITE IMPROVEMENTS SHALL HAVE TOPSOIL APPLIED TO A MINIMUM OF 6" GRADED AND SEEDED WITH SPECIFIED GENERAL LAWN MIXTURE.
- ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN HORTICULTURAL STANDARDS FOR NURSERY STOCK.
- ALL TREE STAKING OR GUYING SHALL BE DONE IMMEDIATELY AFTER PLANTING, BUT IN NO INSTANCE MORE THAN 24 HOURS AFTER PLANTING. SEE STAKING/GUYING DETAIL. AT COMPLETION OF MAINTENANCE PERIOD REMOVE ALL STAKES, FLAGS, GUYS, TREE WRAP, AND ANCHORS.
- MULCH ALL NEW SHRUB BEDS AND PLANT PITS TO ACHIEVE A 3" DEPTH (AFTER SETTLEMENT). MULCH ALL GROUND COVER BEDS TO ACHIEVE A 2" DEPTH (AFTER SETTLEMENT). MULCH FOR SAUCERS AND PLANTING AREAS TO BE A DOUBLE SHREDDED BARK MULCH.
- ALL LAWN AND PLANTING AREA SOIL PREPARATION SHALL BE FERTILIZED AND AMENDED ACCORDING TO RECOMMENDATIONS OF A SOIL ANALYSIS PROVIDED BY AN APPROVED SOIL TESTING LABORATORY.
- SEE SPECIFICATIONS FOR GENERAL LAWN AREA SEED MIXTURES
- INSTALL METAL EDGING AROUND ALL MULCHED PLANT BEDS NOT BOUND BY WALKS, WALLS OR OTHER FEATURES. REFER TO MATERIALS PLAN & SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- FINAL LOCATION OF PLANT MATERIAL TO BE APPROVED BY LANDSCAPE ARCHITECT IN THE FIELD. CONTRACTOR SHALL NOTE AND INDICATE UNDERGROUND UTILITIES AS-BUILT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING PLANT LOCATION WITH UNDERGROUND UTILITIES PRIOR TO COMMENCING PLANTINGS. NOTIFY ARCHITECT IF ANY CONFLICTS EXIST. AN ALTERNATIVE PLANTING LOCATION WILL THEN BE DETERMINED IN THE FIELD WITH LANDSCAPE ARCHITECT.
- THE PLANT LIST APPEARS ON THE DRAWINGS FOR THE CONTRACTOR'S INFORMATION ONLY AND NO GUARANTEE IS EXPRESSED OR IMPLIED THAT QUANTITIES THEREIN ARE CORRECT OR THAT THE LIST IS COMPLETE. CONTRACTOR SHALL GUARANTEE THAT ALL PLANT MATERIALS SHOWN ON THE DRAWINGS ARE INCLUDED IN THE FINAL PROJECT. THE SUBMISSION OF A BID BY THE CONTRACTOR ACKNOWLEDGES THAT THE PLANT MATERIAL TYPES AND SIZES SHOWN ON THE CONTRACT DOCUMENTS ARE AVAILABLE.
- CONTRACTOR SHALL STABILIZE ALL SLOPED AREAS RECEIVING SEED AS REQUIRED UNTIL LAWN IS FULLY ESTABLISHED AND ACCEPTED BY ARCHITECT. CONTRACTOR SHALL MAINTAIN ALL STEEP SLOPES, RESTORE GRADES AND RESEED IF REQUIRED TO ESTABLISH A FULL ACCEPTABLE STAND OF LAWN.

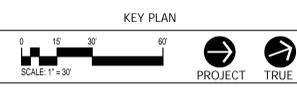
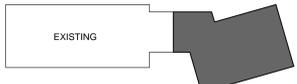
LEGEND

--- PROPERTY LINE
 --- CLL --- CONSTRUCTION LIMIT LINE
 QTY. PLANT TAG
 SYMB. PROPOSED GENERAL LAWN MIX (MIN. 6" TOPSOIL)
 --- SEED LIMIT LINE
 ○ ○ PROPOSED SHRUB
 * * PROPOSED ORNAMENTAL GRASS
 ○ ○ PROPOSED PERENNIAL
 ○ ○ PROPOSED FLOWERING TREE
 ○ ○ PROPOSED EVERGREEN TREE
 ○ ○ PROPOSED DECIDUOUS TREE



DATE	DESCRIPTION
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MAY 2, 2022	ISSUED FOR BID PRICING
AUGUST 18, 2022	24X36 LAYOUTS - RIDEEM
FEBRUARY 7, 2023	DPR REVIEW

DATE	REVISIONS	DESCRIPTION



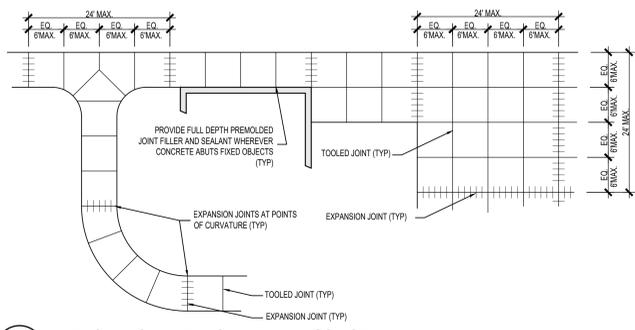
**ACHIEVEMENT
 FIRST ILLUMINAR
 SCHOOL ADDITION**

85 GARFIELD AVE, CRANSTON,
 RI, 02920

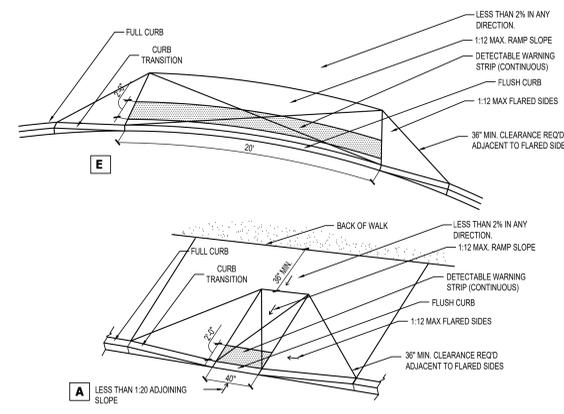
PROJECT NO.: 21012.02 DRAWN BY: DGM

**SITE
 PLANTING
 PLAN**

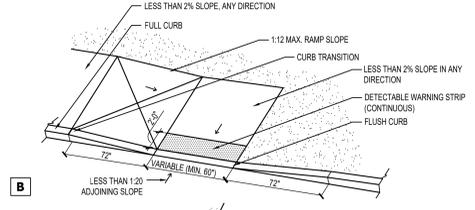
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L5.01



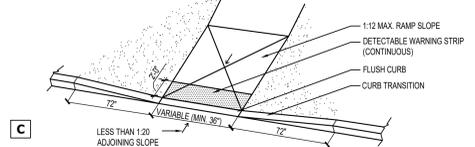
14 TYPICAL JOINT PLACEMENT IN CONCRETE
SCALE: N.T.S.



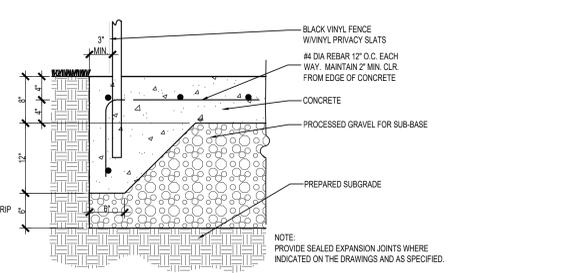
7 INTEGRAL CONCRETE WALK/CURB
SCALE: N.T.S.



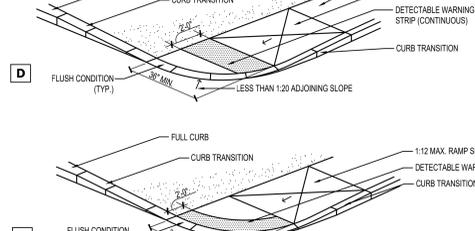
9 EXPANSION JOINT
SCALE: N.T.S.



11 CURB RAMP (TYP.)
SCALE: N.T.S.



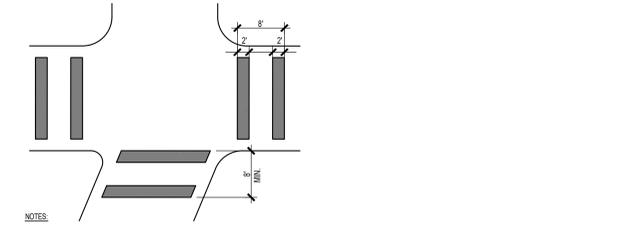
8 REINFORCED CONCRETE PAD W/ HAUNCH
SCALE: N.T.S.



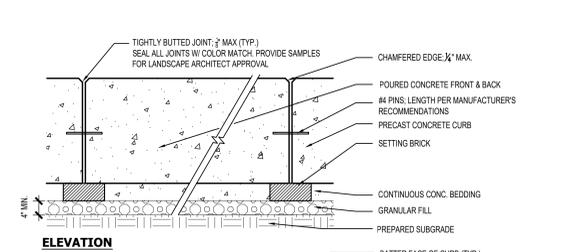
13 SIGN STANDARD
SCALE: N.T.S.

15 DETAIL NOT USED

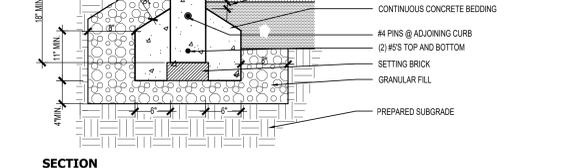
16 DETAIL NOT USED



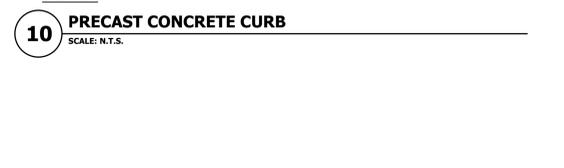
12 CROSSWALK LAYOUT (TYP.)
SCALE: N.T.S.



10 PRECAST CONCRETE CURB
SCALE: N.T.S.

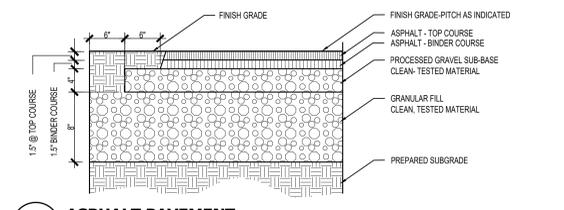


4 CONCRETE WALK
SCALE: N.T.S.



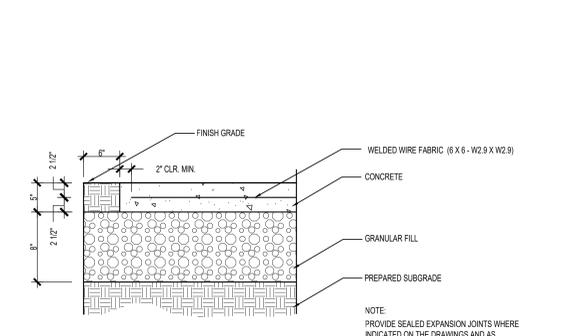
6 FLUSH HANDICAP ACCESSIBLE ENTRANCES
SCALE: N.T.S.

GENERAL NOTE:
ALL FILL MATERIAL BEING IMPORTED AS PART OF THE CAPPING SYSTEM (TOP 12\"/>

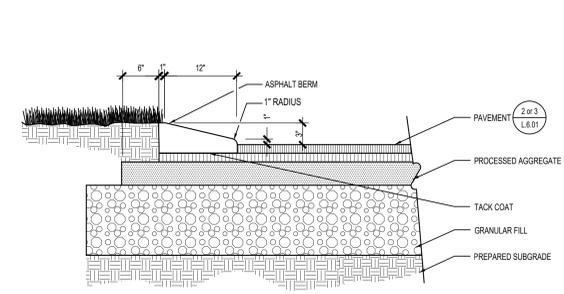


1 ASPHALT PAVEMENT
SCALE: N.T.S.

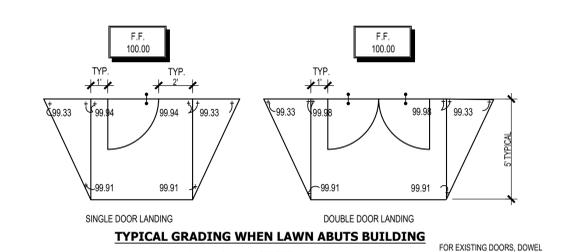
2 DETAIL NOT USED



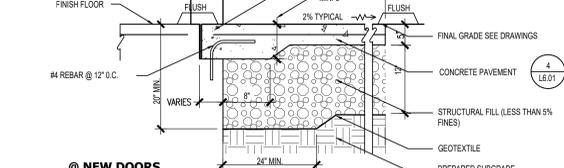
5 ASPHALT BERM
SCALE: N.T.S.



14 TYPICAL GRADING WHEN LAWN ABUTS BUILDING
SCALE: N.T.S.



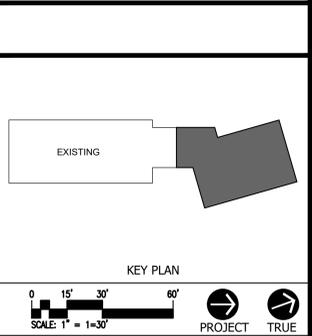
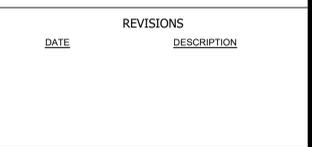
10 PRECAST CONCRETE CURB
SCALE: N.T.S.



4 CONCRETE WALK
SCALE: N.T.S.

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FEBRUARY 7, 2023	

REVISIONS	
DATE	DESCRIPTION



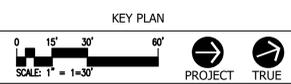
**ACHIEVEMENT
FIRST ILLUMINAR
SCHOOL ADDITION**

85 GARFIELD AVE, CRANSTON,
RI, 02920

PROJECT NO.: 21012.02 DRAWN BY: DGM

**SITE
DETAILS**

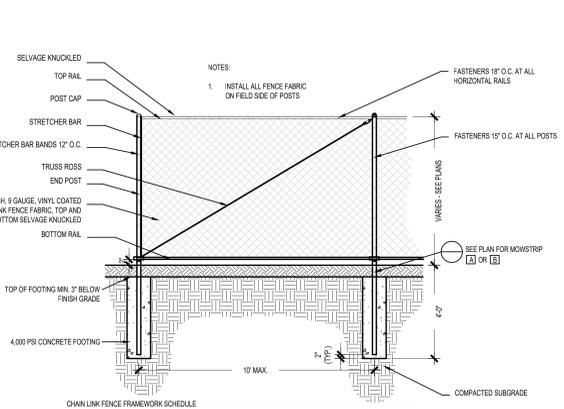
DRAWING NO.:
L6.01



85 GARFIELD AVE, CRANSTON,
RI, 02920

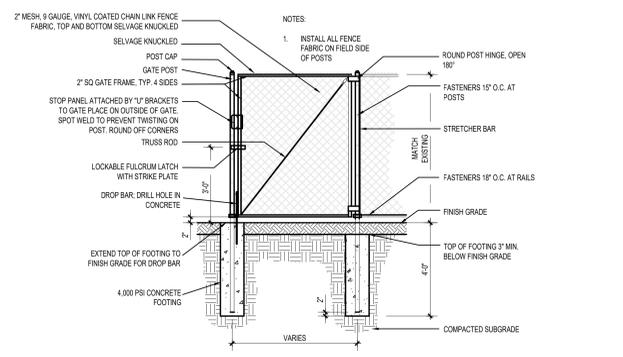
PROJECT NO.: 21012.02 DRAWN BY: DGM

**SITE
DETAILS**



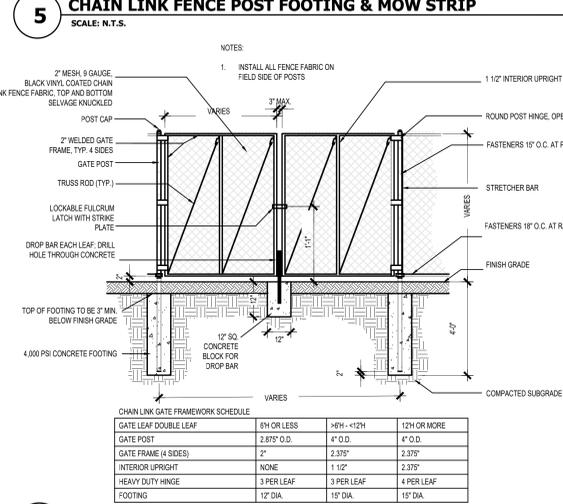
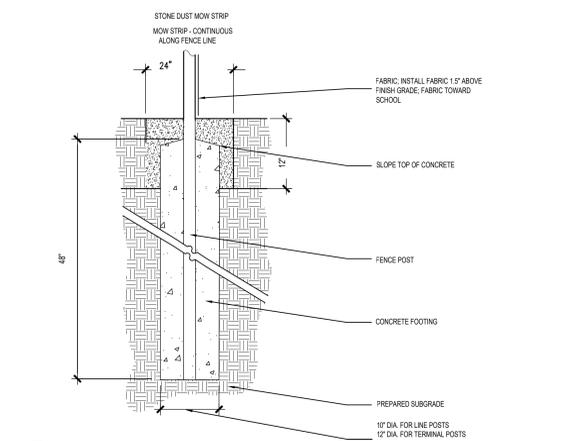
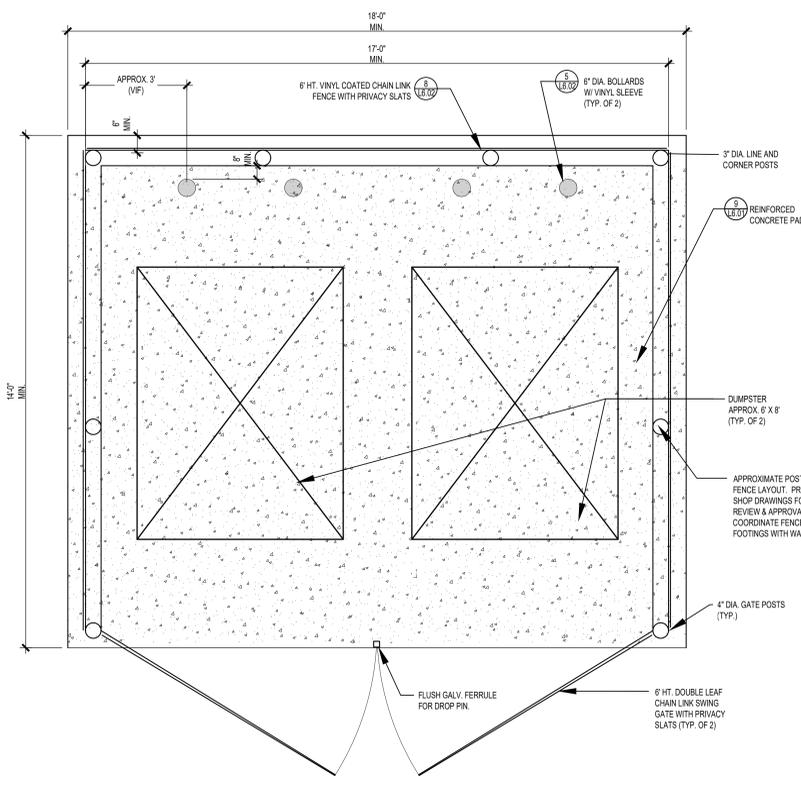
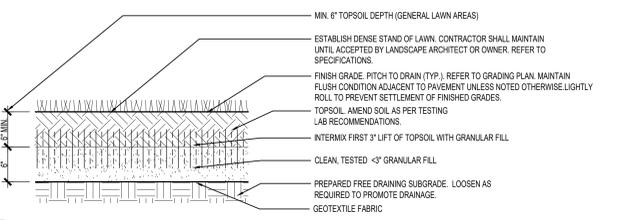
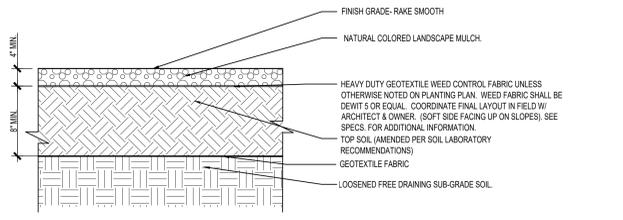
CHAIN LINK FENCE FRAMEWORK SCHEDULE

FABRIC HEIGHT	UP TO 4'	5' TO 6'	8' TO 10'
END CORNER & PULL POST	2.375" O.D.	2.875" O.D.	3.875" O.D.
LINE POST	1.897" O.D.	2.375" O.D.	2.875" O.D.
TOP AND BOTTOM RAIL	1.897" O.D.	1.897" O.D.	1.897" O.D.
MIDDLE RAIL	NONE	NONE	1.897" O.D.
FOOTING	12" DIA.	12" DIA.	15" DIA.



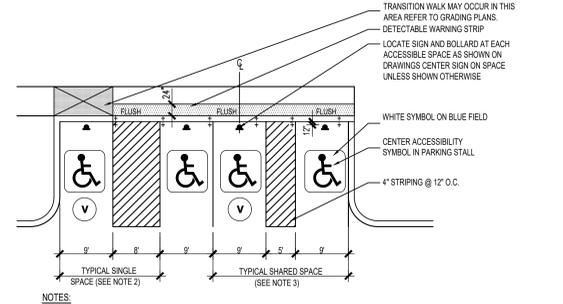
CHAIN LINK FENCE GATE FRAMEWORK SCHEDULE

GATE LEAF SINGLE LEAF	6' OR LESS	>6' - <12'
GATE POST	2.875" O.D.	4" O.D.
GATE FRAME (4 SIDES)	1.875"	1.875"
INTERIOR UPRIGHT	NONE	1 1/2"
FOOTING	12" DIA.	15" DIA.

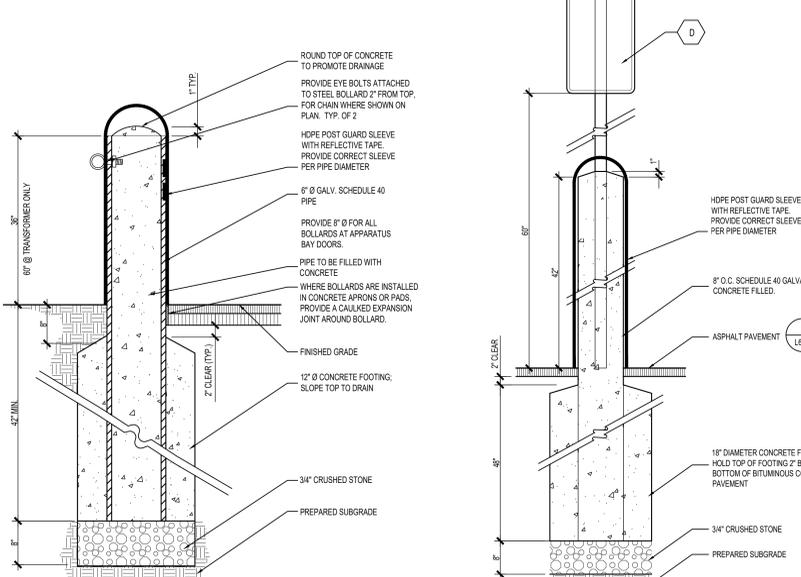
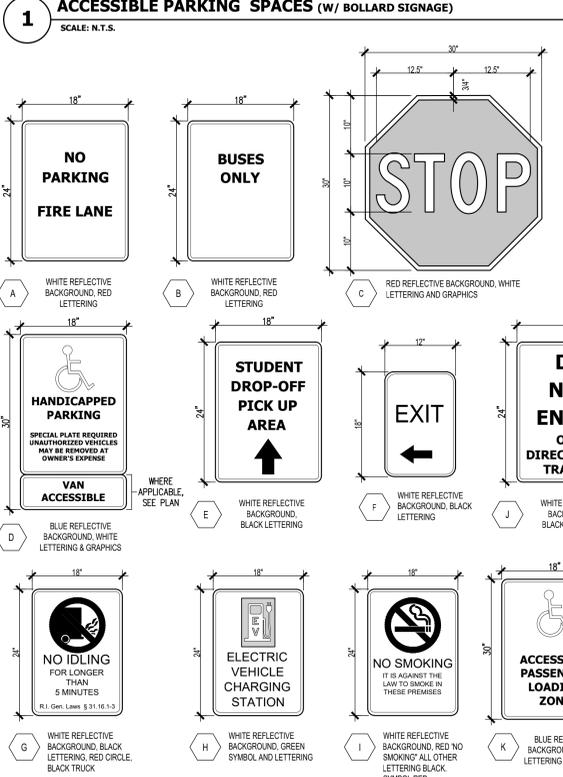


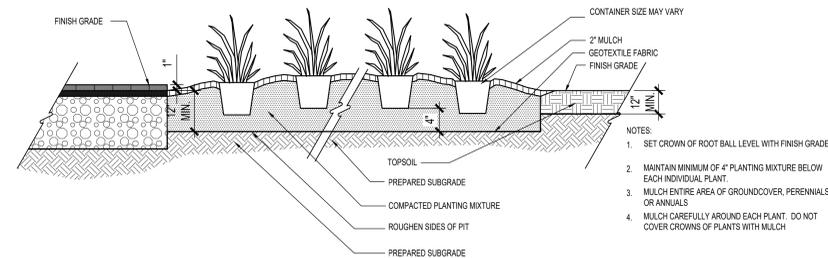
CHAIN LINK FENCE GATE FRAMEWORK SCHEDULE

GATE LEAF DOUBLE LEAF	6' OR LESS	>6' - <12'	12' OR MORE
GATE POST	2.875" O.D.	4" O.D.	4" O.D.
GATE FRAME (4 SIDES)	1.875"	1.875"	1.875"
INTERIOR UPRIGHT	NONE	1 1/2"	2.375"
HEAVY DUTY HINGE	3 PER LEAF	3 PER LEAF	4 PER LEAF
FOOTING	12" DIA.	15" DIA.	15" DIA.



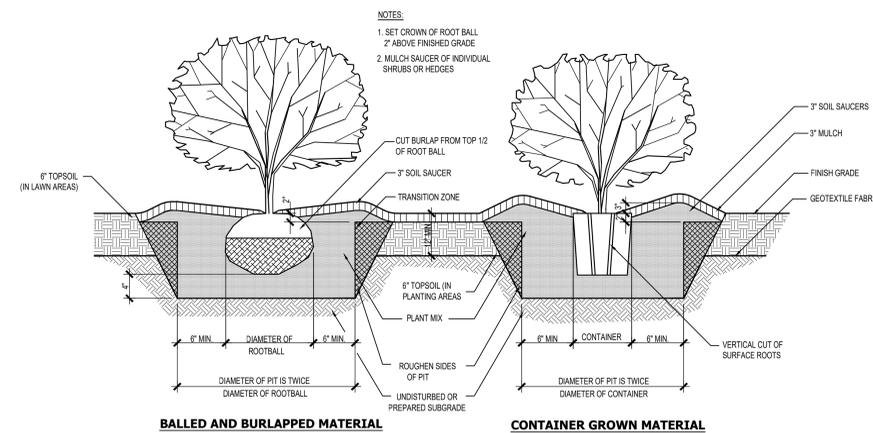
NOTES:
1. PITCH PAVEMENT NO MORE THAN A 2% SLOPE ANY DIRECTION.
2. CROSS HATCH AISLE FOR SINGLE SPACE IS LOCATED ON THE RIGHT SIDE OF THE VEHICLE APPROACH. AISLE WIDTH IS 8' UNLESS VEHICLE ACCESSIBILITY IS NOT REQUIRED AND THE PLANS INDICATE A WIDTH OF 5'.
3. SHARED PARKING SPACES SHALL ONLY BE PERMITTED WHERE A VEHICLE CAN BACK INTO EITHER SPACE FROM THE NORMAL VEHICULAR CIRCULATION PATTERN.





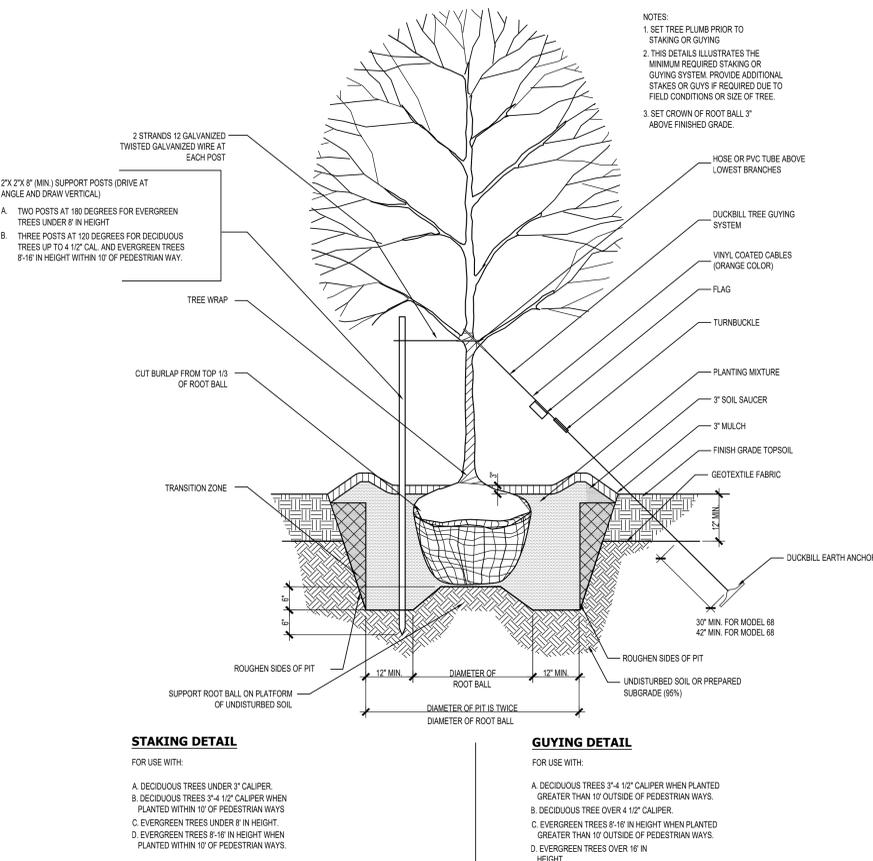
1 GROUNDCOVER, PERENNIALS OR ANNUALS - CONTINUOUS PLANTING BED

SCALE: N.T.S.



2 SHRUB PLANTING

SCALE: N.T.S.

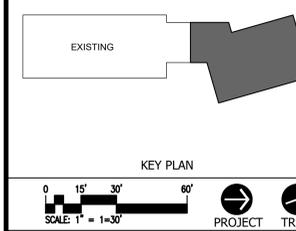


3 TREE PLANTING

SCALE: N.T.S.

ISSUE DATE	
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FEBRUARY 7, 2023	DPR REVIEW

REVISIONS	
DATE	DESCRIPTION



**ACHIEVEMENT
FIRST ILLUMINAR
SCHOOL ADDITION**

85 GARFIELD AVE, CRANSTON, RI, 02920

PROJECT NO.: 21012.02 DRAWN BY: DGM

**SITE
DETAILS**

DRAWING NO.:
L6.03

Project Consultant



GREEN INTERNATIONAL AFFILIATES, INC.
Civil and Structural Engineers
100 Ames Pond Drive,
Tewksbury, MA 01876
GreenInt.com
(978) 923-0400

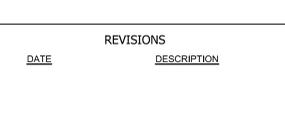
ISSUE DATE

DATE	DESCRIPTION
JUNE 13, 2022	ISSUED FOR BID

REVISIONS

DATE	DESCRIPTION
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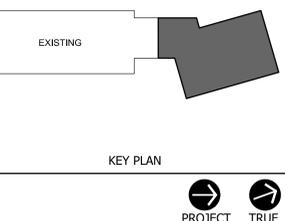
FOR ALL ABBREVIATIONS, SYMBOL LEGENDS, AND GENERAL NOTES SEE SHEET R0.01



EXISTING

KEY PLAN

PROJECT TRUE



ACHIEVEMENT FIRST ILUMINAR SCHOOL ADDITION

85 GARFIELD AVE, CRANSTON, RI, 02920

PROJECT NO.: 21012.02 DRAWN BY:

NOTES AND LEGEND

DRAWING NO.: **C1.00**

GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF LEGALLY OFF SITE.
- CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL. DUST CONTROL SHALL INCLUDE THE WATERING OF UNPAVED ROAD SURFACES AND STREET SWEEPING OF PAVED SURFACES. STREET SWEEPING SHALL OCCUR ON THE PAVED SURFACES WITHIN THE SITE AND OFF THE SITE WHERE VEHICLE TRACKING OF SEDIMENTS HAS OCCURRED.
- DURING CONSTRUCTION, TRENCHES ARE NOT TO BE LEFT IN A CONDITION THAT WOULD DIRECT RUNOFF AROUND TREATMENT AND DETENTION FACILITIES.
- ALL SITE WORK SHALL BE SECURED AT THE END OF THE WORK DAY TO REDUCE EROSION AND SEDIMENT PROBLEMS. THIS INCLUDES AS APPLICABLE, COVERING STOCKPILES OF SOIL, INSTALLING TEMPORARY VEGETATION OR BY USING GEOTEXTILES TO COVER DISTURBED AREAS WITH STEEPER SLOPES.
- DEWATERING OPERATION SHALL COMPLY WITH THE REQUIREMENTS OF THE RIPDES CONSTRUCTION GENERAL PERMIT FOR CONSTRUCTION SITES THAT ARE GREATER THAN 1 ACRE.
- CONSTRUCTION FENCING SHALL BE SET TO PREVENT UNCONTROLLED ACCESS TO THE SITE AT ALL TIMES AND ADJUSTED AS NECESSARY THROUGHOUT CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER DEPENDING ON PHASING.

PLAN SYMBOLS - EXISTING CONDITIONS

100+0	SPOT ELEVATION
○	BOULDER/STONE
○	MONITORING WELL
BCC	BITUMINOUS CONCRETE CURB
—	DRAIN MANHOLE
—	CATCH BASIN
—	SEWER MANHOLE
—	TELEPHONE MANHOLE
—	ELECTRIC MANHOLE
—	STONE BOUND
—	FIRE HYDRANT
—	WATER GATE VALVE
—	GAS GATE VALVE
—	SIGN
—	UTILITY POLE
—	SURVEY CONTROL POINT
—	TREE

---	EXISTING MAJOR 10' CONTOUR
---	EXISTING MINOR 2' CONTOUR
---	PROPOSED CONTOUR
---	UNDERGROUND DRAIN LINE
---	UNDERGROUND SEWER LINE
---	UNDERGROUND ELECTRIC LINE
---	OVERHEAD UTILITY WIRES
---	UNDERGROUND WATER LINE
---	UNDERGROUND GAS LINE
---	FENCE
---	STONE WALL
---	PROPERTY LINE
---	TREE/SHRUB LINE
---	WETLAND RESOURCE BOUNDARY
---	FLOOD ZONE AE
---	EXISTING WOOD GAURD RAIL
---	EDGE OF PAVEMENT

SITE PREPARATION NOTES

- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES AND PROCEDURES; AND FOR THE SAFETY PRECAUTIONS AND PROGRAMS REQUIRED FOR THE WORK UNDER THIS CONTRACT. THE CONTRACT DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY AND THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING ALL SAFETY BARRIERS, WARNING FLASHERS, AND THE LIKE AS REQUIRED FOR THE PROTECTION OF WORKERS AND THE PUBLIC. COMPLY WITH OSHA REQUIREMENTS.
- PRIOR TO THE START OF WORK, INSTALL WOVEN POLYPROPYLENE GEOTEXTILE FILTER BAGS IN CATCH BASINS AND/OR DRYWELL STRUCTURES ON AND NEAR THE SITE. WHEN INSTALLING FILTER BAGS, HOLD APPROXIMATELY SIX INCHES OUTSIDE THE FRAME AND REPLACE THE GRATE, USING THE WEIGHT OF THE GRATE TO HOLD THE FILTER BAG IN PLACE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED FOR THIS PROJECT.
- THE CONTRACTOR SHALL PROTECT ALL UTILITIES WITHIN THE PROJECT AREA, IN THE STREET, AND ON ADJACENT PROPERTIES FROM DAMAGE AND UNDERMINING DURING EXCAVATION.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE CITY OF CRANSTON DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS.
- ALL EXISTING WATER AND GAS SERVICES DESIGNATED TO BE REMOVED OR ABANDONED SHALL BE CUT AND CAPPED AT THE MAIN IN THE STREET.
- ALL EXISTING SEWER AND DRAIN LINES DESIGNATED TO BE REMOVED OR ABANDONED SHALL BE CUT AND CAPPED AT THE MAIN IN THE STREET.
- ALL EXISTING UTILITY FRAMES, COVERS AND/OR GRATES WITHIN PROJECT LIMITS ARE TO BE ADJUSTED TO PROPOSED FINISHED GRADE UNLESS OTHERWISE NOTED.
- TEMPORARY CONSTRUCTION ENTRANCES SHALL BE INSTALLED AS SHOWN ON PLANS.
- REMNANTS OF PREVIOUS BUILDING FOUNDATION, UTILITY STRUCTURES AND UNDERGROUND UTILITIES MAY BE ENCOUNTERED DURING EXCAVATION AND SHALL BE REMOVED AND DISPOSED LEGALLY OFF SITE.
- PROVIDE TREE PROTECTION AT ALL TREE TRUNKS WITHIN 20' OF L.O.W. OR TEMPORARY STOCKPILES OR AS SHOWN ON PLANS.
- CONTRACTOR SHALL USE EXTREME CAUTION IN REMOVING PAVEMENT AND SUB-BASE UNDER DRIP LINE OF EXISTING TREES TO AVOID DAMAGE TO ROOTS AND OVERHEAD BRANCHES.
- CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL EXISTING SITE FEATURES AND STRUCTURES AS NECESSARY TO INSTALL PROPOSED SITE IMPROVEMENTS.

EROSION AND SEDIMENT CONTROLS

- A RIPDES PERMIT WILL BE REQUIRED FOR THIS PROJECT. A DRAFT SESC HAS BEEN PREPARED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CERTIFYING THE SESC AND FOLLOWING THE REQUIREMENTS OF THE SESC PURSUANT TO THE RIPDES CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING THE EROSION AND SEDIMENT DURING THE CONSTRUCTION PROCESS. SITE SPECIFIC CONDITIONS MAY REQUIRE MODIFICATIONS IN THE FIELD, BUT THE CONTRACTOR MUST ENSURE THAT THE PROJECT SPECIFICATIONS THAT ARE DEVELOPED IN THE FIELD MEET THE MINIMUM REQUIREMENTS OF THIS PLAN.
- IN ORDER TO MINIMIZE EROSION AND SEDIMENT RUNOFF FROM THE SITE, THE CONTRACTOR SHOULD MAINTAIN EXISTING VEGETATION WHERE POSSIBLE AND STABILIZE THE DISTURBED PORTIONS OF THE SITE AS QUICKLY AS POSSIBLE. THIS MAY INCLUDE PHASING THE PROJECT AS NEEDED TO MINIMIZE THE SIZE OF THE DISTURBED AREAS ON THE SITE.
- THE CONTRACTOR MUST ALSO ANTICIPATE INCREASED RUNOFF FROM STEEPER SLOPES AND DURING HIGH GROUNDWATER CONDITIONS. THIS MAY OCCUR DURING THE WET SEASON (TYPICALLY MARCH THROUGH APRIL) OR AFTER SIGNIFICANT PRECIPITATION EVENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF SILT FENCES, DRAINAGE SWALES, EARTH DIKES, TEMPORARY SETTLING BASINS, CHECK DAMS AND TEMPORARY OR PERMANENT SEDIMENT BASINS. THESE PRACTICES DIVERT FLOWS FROM EXPOSED SOILS, LIMIT RUNOFF AND THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE TO THE DEGREE ATTAINABLE.
- ALL DISTURBED SURFACES SHALL BE STABILIZED WITHIN 14 DAYS AFTER CONSTRUCTION IN ANY PORTION OF THE SITE THAT HAS BEEN COMPLETED OR WHERE CONSTRUCTION HAS TEMPORARILY CEASED.
- THE CONTRACTOR SHALL, AT ALL TIMES, HAVE A STOCKPILE OF STRAW WATTLES AND SILT FENCE ADEQUATE TO REINFORCE/REPLACE EROSION AND SEDIMENT CONTROL AS NEEDED.
- THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES UNTIL ALL EARTHWORK OPERATIONS ARE COMPLETE AND ALL AREAS ARE STABILIZED TO PREVENT THE MOVEMENT OF SOIL, SILT, SEDIMENT, AND DEBRIS INTO THE DRAINAGE SYSTEM ON AND NEAR THE SITE. THE CONTRACTOR SHALL REMOVE ALL EROSION CONTROL DEVICES UPON COMPLETION AND ACCEPTANCE OF THE WORK. REFER TO LANDSCAPE PLANS FOR ADDITIONAL REQUIREMENTS.
- ALL AREAS OF DISTURBANCE MUST HAVE TEMPORARY OR FINAL STABILIZATION WITHIN 14 DAYS OF THE INITIAL DISTURBANCE. AFTER THIS TIME, ANY DISTURBANCE IN THE AREA MUST BE STABILIZED AT THE END OF EACH WORK DAY. THE FOLLOWING EXCEPTIONS APPLY:
 - i) STABILIZATION IS NOT REQUIRED IF WORK IS TO CONTINUE IN THE AREA WITHIN THE NEXT 24 HOURS AND THERE IS NO PRECIPITATION FORECAST FOR THE NEXT 24 HOURS.
 - ii) STABILIZATION IS NOT REQUIRED IF THE WORK IS OCCURRING IN A SELF-CONTAINED EXCAVATION WITH A DEPTH OF 2 FEET OR GREATER.

UTILITY NOTES

- UTILITY WORK WITHIN THE ZONE 10 FT OUTSIDE OF FOUNDATION WALL OF THE BUILDING SHALL CONFORM TO EFFECTIVE BUILDING CODE REQUIREMENTS, CITY OF CRANSTON REQUIREMENTS, AND THE MECHANICAL, ELECTRICAL AND PLUMBING SPECIFICATIONS. UTILITIES, WITHIN THIS AREA (10 FT FROM THE FOUNDATION WALL), ARE SHOWN ON THIS DRAWING FOR COORDINATION PURPOSES. REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS AND SPECIFICATIONS FOR PIPE SIZES AND MATERIALS.
- ALL UNDERGROUND UTILITIES SHALL BE CONSIDERED APPROXIMATE. THEREFORE, PRIOR TO THE START OF ANY WORK ON THE SITE, THE CONTRACTOR SHALL VERIFY THE ACTUAL LOCATION OF ALL UTILITIES, SHOWN OR NOT SHOWN ON THIS PLAN. CONTACT DIG-SAFE AT 1-888-344-7233 (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO THE START OF EXCAVATION.
- CONTRACTOR TO ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ECT.) THAT ARE AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON THE PLANS OR NOT.
- ALL WORK TO BE DONE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF CRANSTON.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE TAKEN FROM RECORD INFORMATION SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAINAGE STRUCTURES AS NECESSARY FOR CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES, AND BOXES TO THE PROPOSED FINISH SURFACE GRADE.
- AREA OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION, AT NO ADDITIONAL COST TO THE OWNER.
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR PROPOSED LOCATION OF UTILITY SERVICES AT BUILDING.
- THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRICAL). FINAL DESIGN AND LOCATIONS AT THE BUILDING WILL BE PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY CONNECTION WITH THE RESPECTIVE COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION.
- ALL WORK MUST COMPLY WITH STATE AND LOCAL PERMITS, AS WELL AS RIDOT AND LOCAL REQUIREMENTS.
- REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL MATERIALS INFORMATION.
- THE CONTRACTOR SHALL VERIFY THE DEPTHS OF ALL UTILITIES WITHIN THE PROPOSED TRENCHES PRIOR TO ORDERING DRAINAGE STRUCTURES. NOTIFY THE DESIGNER OF ANY CONFLICT WITH THE DESIGN PLANS AND AN EXISTING UTILITY. THE DESIGNER RESERVES THE RIGHT TO REALIGN STRUCTURE AND PIPING LOCATIONS TO SUIT ACTUAL FIELD CONDITIONS ENCOUNTERED.
- THE CONTRACTOR SHALL PROTECT ALL UTILITIES WITHIN SITE AND PUBLIC WAYS NOT DESIGNATED TO BE REMOVED AND RELOCATED FROM DAMAGE AND UNDERMINING DURING EXCAVATION. THE CONTRACTOR SHALL REPLACE ITEMS DAMAGED DURING CONSTRUCTION DUE TO NEGLIGENCE, CARELESSNESS, OR MISHANDLING WITH NO COST TO THE OWNER.
- SOME EXISTING UTILITY SERVICE LINES MAY NOT BE SHOWN ON THIS PLAN THAT NEED TO BE REMOVED AND RELOCATED AND/OR REMOVED AND DISPOSED TO ALLOW FOR THE PROPOSED SITE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH UTILITY OWNERS AND TO VERIFY, LOCATE, AND DISCONNECT/RELOCATE SUCH LINES.
- UTILITIES TO BE ABANDONED MAY BE REMOVED AT THE CONTRACTOR'S DISCRETION. ENDS OF ABANDONED PIPES TO REMAIN SHALL BE CUT AND CAPPED/PLUGGED. ABANDONED UTILITIES OVER 12" IN DIAMETER SHALL BE FILLED WITH FLOWABLE FILL IF TO REMAIN IN PLACE.
- REFER TO LANDSCAPE PLANS AND SPECIFICATIONS FOR ADDITIONAL CONSTRUCTION REQUIREMENTS.

NOTES

1. REFER TO NOTES ON SHEET C1.00 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO LANDSCAPE DEMOLITION PLAN FOR REMOVAL OR PROTECTION OF TREES AND SURFACE ELEMENTS.
3. DRAINAGE INLET STRUCTURE SHALL BE REMOVED TO A MINIMUM DEPTH OF 1' BELOW FINISHED GRADE AND MODIFIED WITH A MANHOLE FRAME AND COVER TO BE LEFT BURIED.
4. ALL EXISTING UTILITY FRAMES, COVERS AND/OR GRATES WITHIN PROJECT LIMITS ARE TO BE ADJUSTED TO PROPOSED FINISHED GRADE UNLESS OTHERWISE NOTED.

LEGEND

- PROPERTY LINE
- - - LIMIT OF DISTURBANCE
- SETBACK LINE
- ○ ○ SILT FENCE AND COMPOST FILTER TUBE
- LIMIT OF WORK LINE
- DRAINAGE INLET PROTECTION

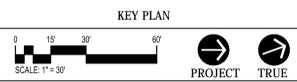
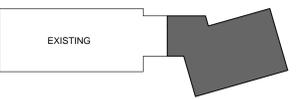
ISSUE DATE

DATE	DESCRIPTION
JUNE 13, 2022	ISSUED FOR BID
OCTOBER 13, 2022	RIDEM RPD REVISIONS

REVISIONS

DATE	DESCRIPTION
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FOR ALL ABBREVIATIONS, SYMBOL LEGENDS, AND GENERAL NOTES SEE SHEET R0.01

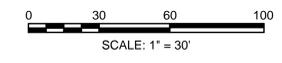
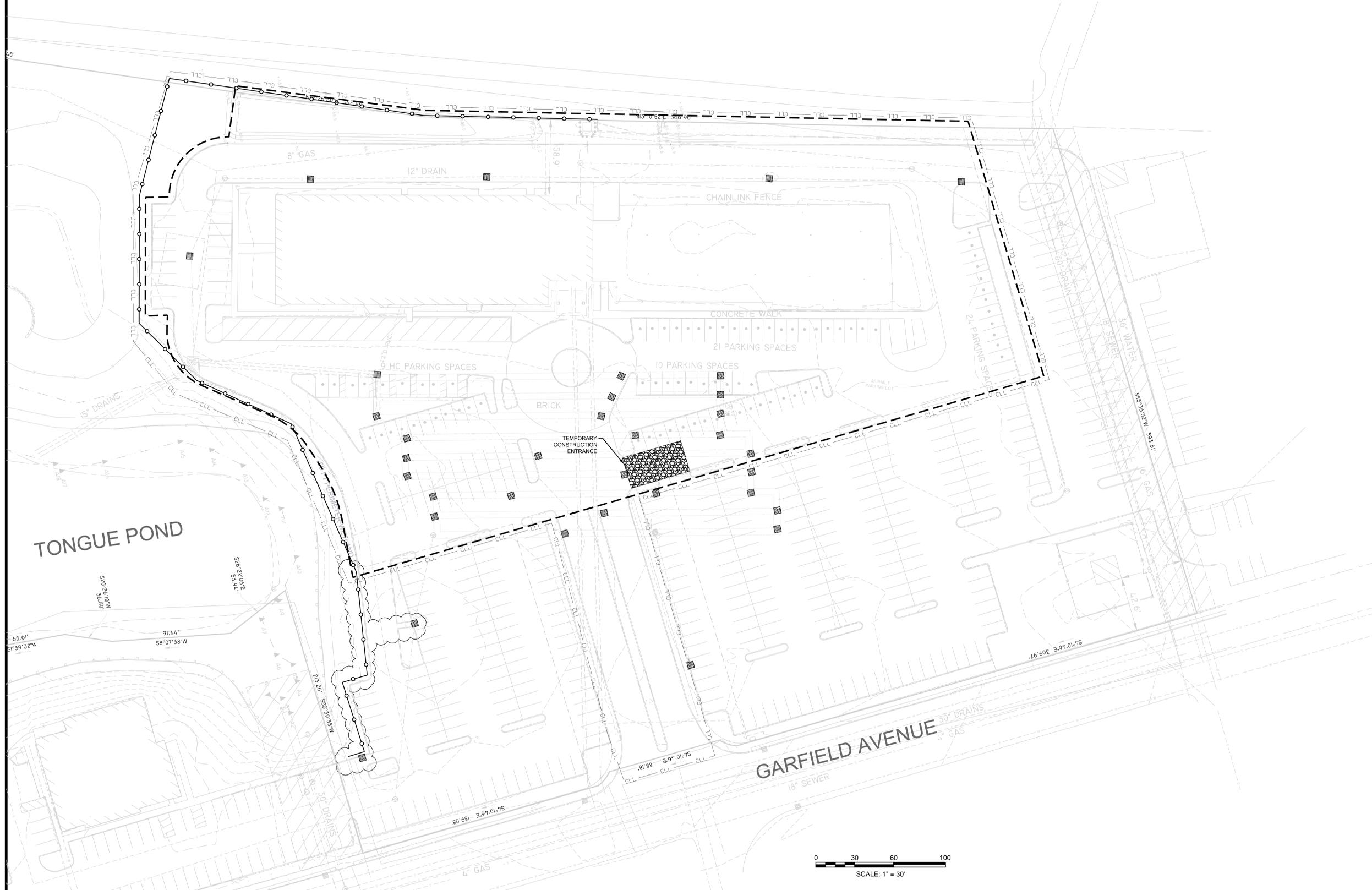
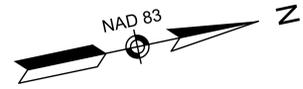


85 GARFIELD AVE, CRANSTON, RI, 02920

PROJECT NO.: 21012.02 DRAWN BY: BV

SITE PREPARATION AND EROSION CONTROL

DRAWING NO.: **C1.01**

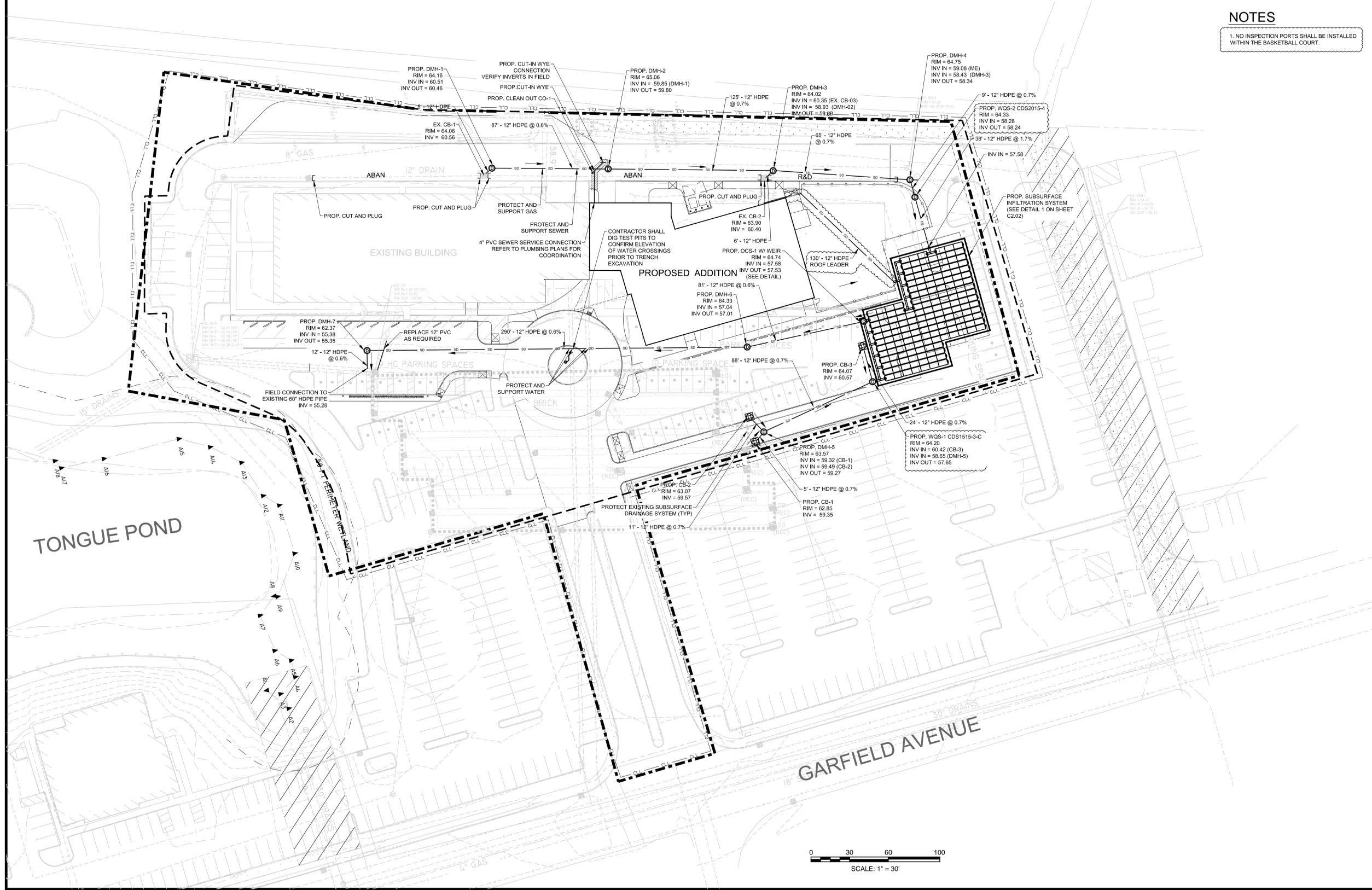


LEGEND

- PROPERTY LINE
- LIMIT OF DISTURBANCE
- SETBACK LINE
- CLL --- CONTRACT LIMIT LINE
- SD --- PROPOSED STORM DRAIN PIPE
- SS --- PROPOSED SANITARY SEWER PIPE
- ⊙ --- PROPOSED DRAIN MAINHOLE
- ⊙ --- PROPOSED CATCH BASIN
- --- PROPOSED CLEAN-OUT
- ABAN --- ABANDON
- OCS --- OUTLET CONTROL STRUCTURE
- WQS --- WATER QUALITY STRUCTURE
- PROP. --- PROPOSED
- EX. --- EXISTING

NOTES

1. NO INSPECTION PORTS SHALL BE INSTALLED WITHIN THE BASKETBALL COURT.



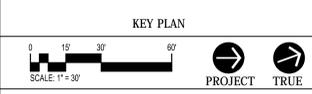
ISSUE DATE

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OCTOBER 13, 2022	RIDEM RPD REVISIONS

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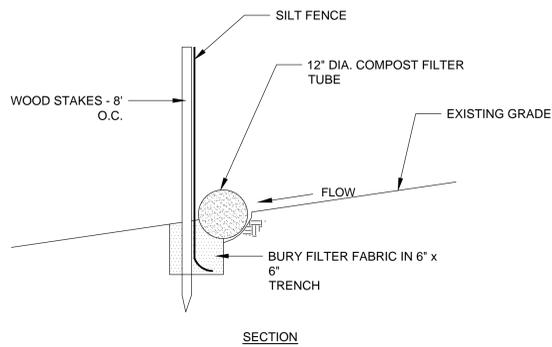
FOR ALL ABBREVIATIONS, SYMBOL LEGENDS, AND GENERAL NOTES SEE SHEET R0.01



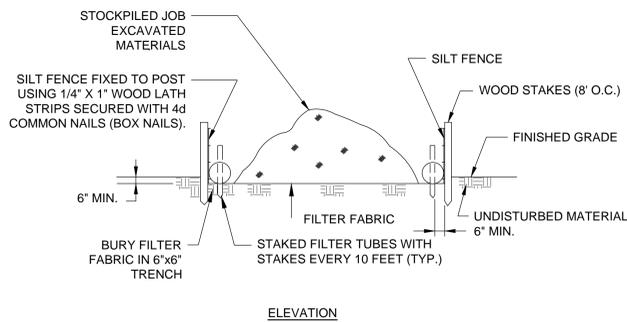
85 GARFIELD AVE, CRANSTON, RI, 02920

PROJECT NO.: 21012.02 DRAWN BY: BV

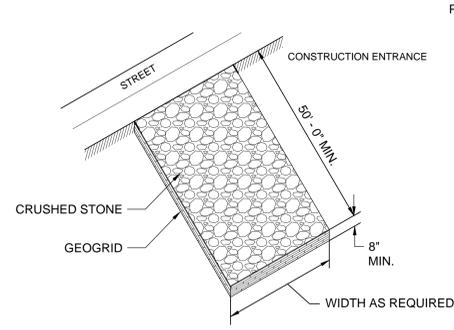
SITE UTILITIES AND DRAINAGE PLAN



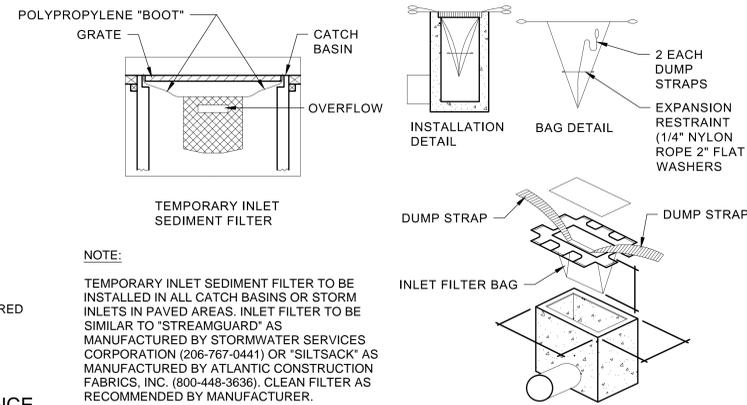
1 COMPOST FILTER TUBE / SILT FENCE
NOT TO SCALE



2 STOCKPILED MATERIAL
NOT TO SCALE

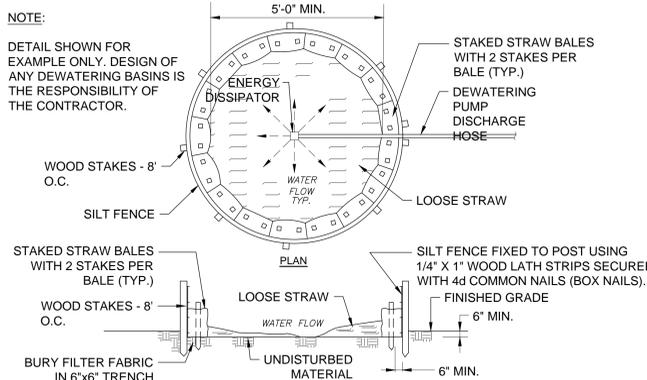


3 TEMPORARY CONSTRUCTION ENTRANCE
NOT TO SCALE



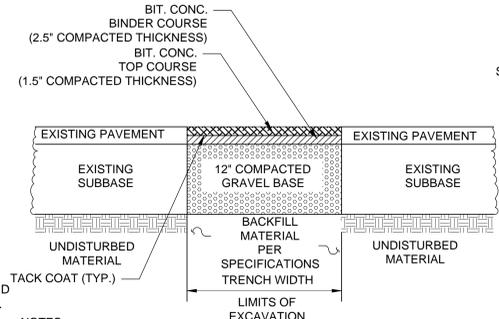
NOTE:
TEMPORARY INLET SEDIMENT FILTER TO BE INSTALLED IN ALL CATCH BASINS OR STORM INLETS IN PAVED AREAS. INLET FILTER TO BE SIMILAR TO "STREAMGUARD" AS MANUFACTURED BY STORMWATER SERVICES CORPORATION (206-767-0441) OR "SILTSACK" AS MANUFACTURED BY ATLANTIC CONSTRUCTION FABRICS, INC. (800-448-3636). CLEAN FILTER AS RECOMMENDED BY MANUFACTURER.

4 TEMPORARY INLET SEDIMENT FILTER
NOT TO SCALE



NOTE:
DETAIL SHOWN FOR EXAMPLE ONLY. DESIGN OF ANY DEWATERING BASINS IS THE RESPONSIBILITY OF THE CONTRACTOR.

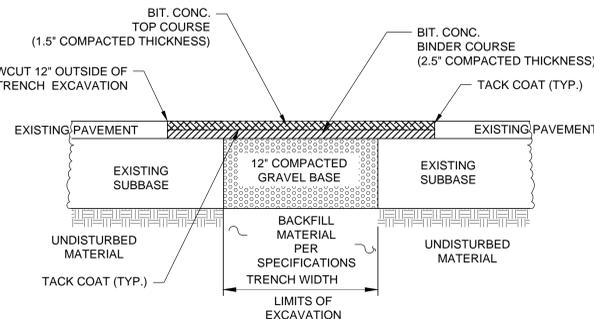
5 DEWATERING BASIN
NOT TO SCALE



NOTES:

1. THE CONTRACTOR SHALL MAINTAIN TEMPORARY PAVEMENT FOR A MINIMUM OF 60 DAYS.
2. IF TEMPORARY PAVEMENT IS PLACED AFTER OCTOBER 1ST, THEN IT SHALL BE MAINTAINED UNTIL APRIL 15 OF THE FOLLOWING YEAR.
3. CONTRACTOR SHALL MATCH EXISTING ROADWAY GRADES.

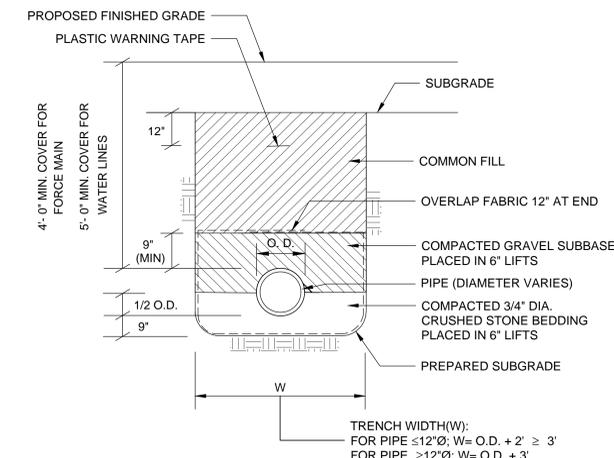
6 TEMPORARY TRENCH PAVEMENT
NOT TO SCALE



NOTES:

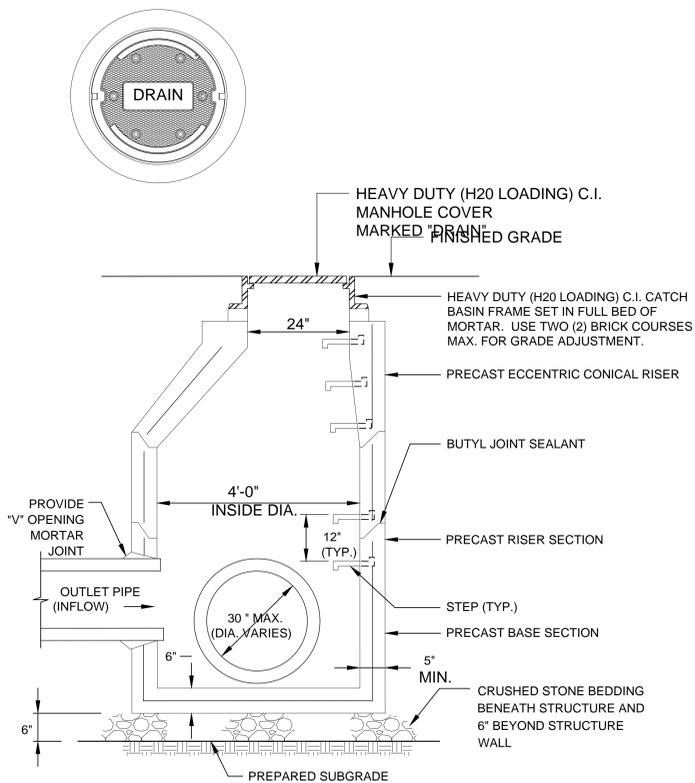
1. PERMANENT PAVEMENT SHALL BE PLACED BETWEEN APRIL 15 AND DECEMBER 1 OF EACH CALENDAR YEAR.
2. THE CONTRACTOR SHALL SAWCUT 12-INCHES OUTSIDE OF TRENCH EXCAVATION. TEMPORARY PAVEMENT SHALL BE REMOVED AND DISPOSED OF. THE GRAVEL BASE SHALL BE FINE GRADED, TACK COAT PLACED ON ALL JOINTS, AND PERMANENT PAVEMENT PLACED IN TWO COURSES.
3. CONTRACTOR SHALL MATCH EXISTING ROADWAY GRADES.

7 PERMANENT TRENCH PAVEMENT
NOT TO SCALE



TRENCH EXCAVATION AND BACKFILLING:
1. EXCAVATE TRENCH BOTTOMS AS INDICATED. REMOVE STONES AND SHARP OBJECTS TO AVOID POINT LOADING. PLACE CRUSHED STONE PIPE BEDDING AS INDICATED.
2. PLACE AND COMPACT INITIAL BACKFILL OF SAND-GRAVEL MATERIAL, FREE OF PARTICLES GREATER THAN 1 INCH, TO A HEIGHT OF 12" ABOVE THE UTILITY LINE OR CONDUIT.
3. CAREFULLY COMPACT MATERIAL UNDER PIPE HAUNCHES AND BACKFILL EVENLY ON BOTH SIDES ALONG FULL LENGTH OF LINE TO AVOID DAMAGE OR DISPLACEMENT OF UTILITY SYSTEM.
4. COMPACT TRENCH BACKFILL IN 6" LIFTS WITH A HAND OPERATED (VIBRATOR PLATE) TAMPER AS FOLLOWS: UNDER PAVEMENT AND STRUCTURES, TO 95% MAX. DRY DENSITY PER ASTM D1557. UNDER LAWNS, 90% MAXIMUM DRY DENSITY PER ASTM D1557.

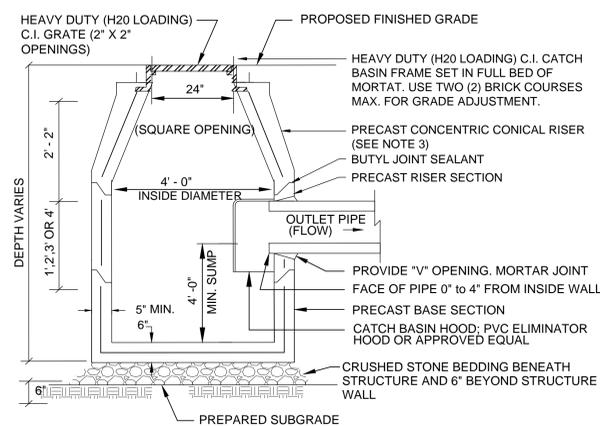
8 TYPICAL PIPE TRENCH
NOT TO SCALE



NOTES:

1. PRECAST CONCRETE SECTIONS SHALL CONFORM TO ASTM C-478
2. STEEL REINFORCING SHALL CONFORM TO ASTM A185
3. MANHOLE STEPS SHALL BE 14" WIDE STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC AND SHALL BE CAST INTO MANHOLE SECTIONS BY THE PRECAST MANHOLE MANUFACTURER.

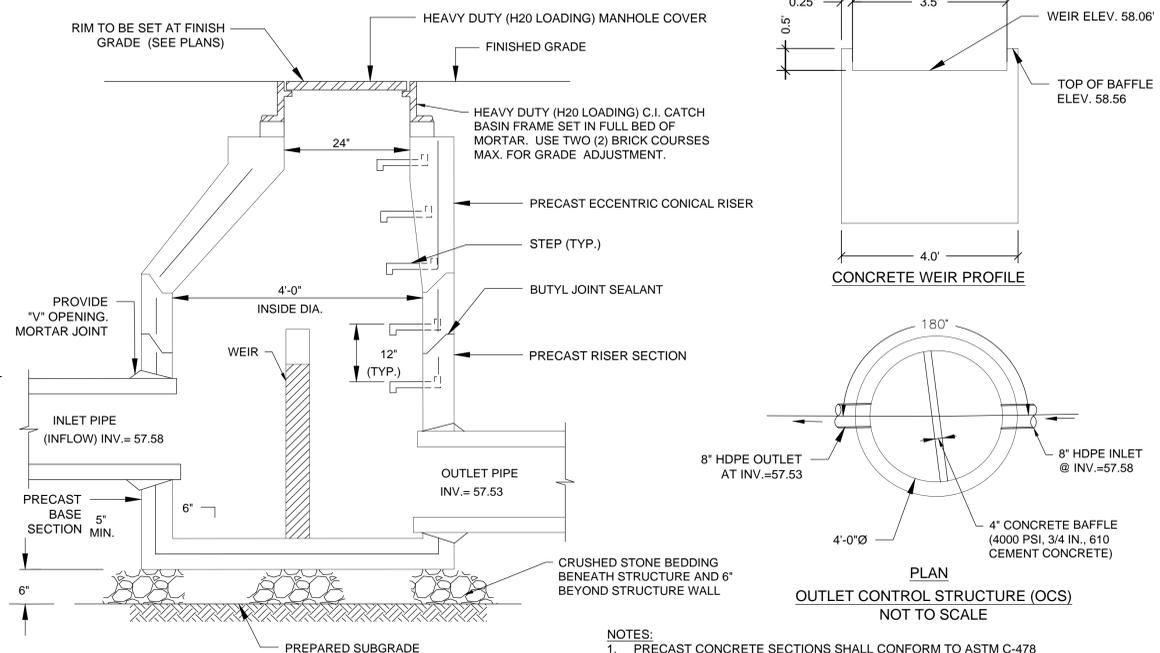
9 TYPICAL PRECAST CONCRETE DRAIN MANHOLE
NOT TO SCALE



NOTES:

1. PRECAST CONCRETE SECTIONS SHALL CONFORM TO ASTM C-478
2. STEEL REINFORCING SHALL CONFORM TO ASTM A185
3. USE FLAT TOP SLAB WHEN PIPE(S) COVER IS LESS THAN 2 FT.

10 TYPICAL PRECAST CATCH BASIN
NOT TO SCALE



NOTES:

1. PRECAST CONCRETE SECTIONS SHALL CONFORM TO ASTM C-478
2. STEEL REINFORCING SHALL CONFORM TO ASTM A185
3. MANHOLE STEPS SHALL BE 14" WIDE STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC AND SHALL BE CAST INTO MANHOLE SECTIONS BY THE PRECAST MANHOLE MANUFACTURER.

11 TYPICAL OUTLET CONTROL STRUCTURE (OCS-1)
NOT TO SCALE

Project Consultant

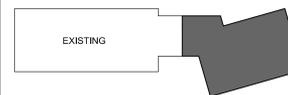


GREEN INTERNATIONAL AFFILIATES, INC.
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DATE	DESCRIPTION

FOR ALL ABBREVIATIONS, SYMBOL LEGENDS, AND GENERAL NOTES SEE SHEET R0.01



KEY PLAN
PROJECT TRUE



ACHIEVEMENT FIRST LUMINAR SCHOOL ADDITION

85 GARFIELD AVE, CRANSTON, RI, 02920

PROJECT NO.: 21012.02 DRAWN BY:

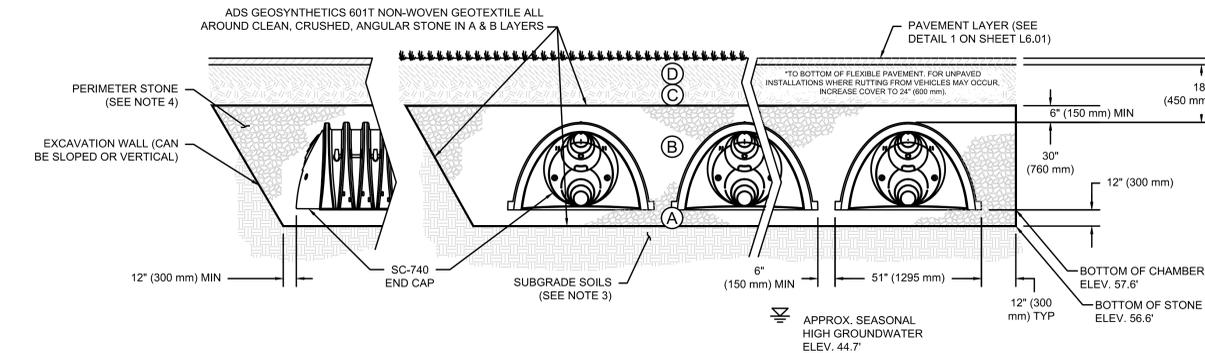
SITE DETAILS I

DRAWING NO.:

C2.01

ACCEPTABLE FILL MATERIALS: CHAMBER SYSTEMS			
MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT MANUFACTURER FOR COMPACTION REQUIREMENTS.

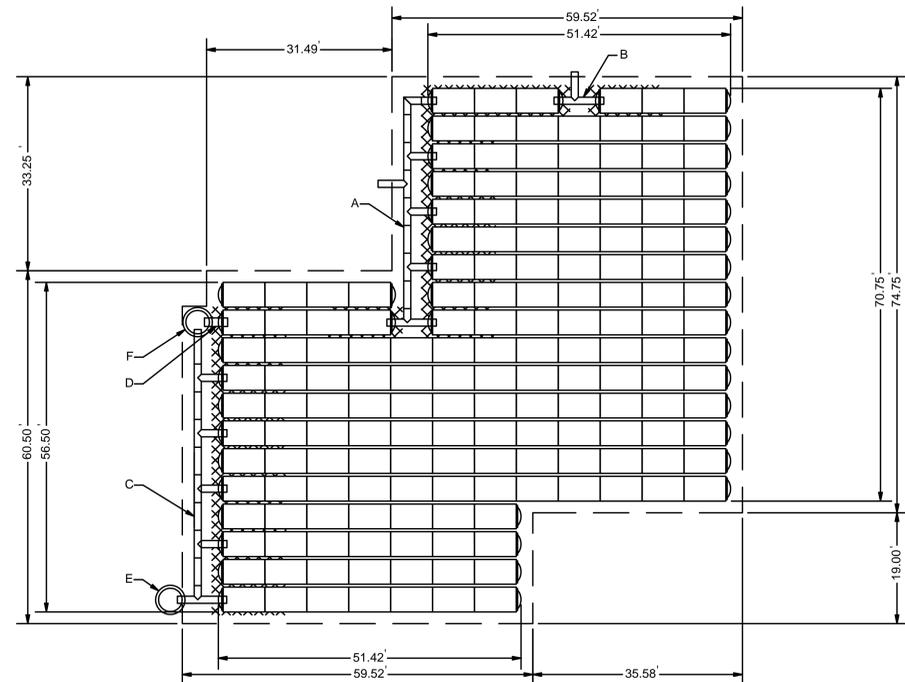


PROPOSED LAYOUT	PROPOSED ELEVATIONS
170' STORMTECH SC-740 CHAMBERS	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED): 68.08
24' STORMTECH SC-740 END CAPS	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC): 67.88
4' STONE ABOVE (m)	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC): 67.88
12' STONE BELOW (m)	MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT): 61.88
30' STONE VOID	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT): 61.88
INSTALLED SYSTEM VOLUME (CF)	TOP OF STONE: 60.88
PERIMETER STONE INCLUDED	TOP OF SC-740 CHAMBER: 60.08
COVER STONE INCLUDED	TOP BOTTOM CONNECTION INVERT: 57.68
706' SYSTEM AREA (SF)	12\"/>

PART TYPE	ITEM ON LAYOUT	DESCRIPTION	INVERT	MAX FLOW
MANIFOLD	A	12\"/>		

SC-740 STORMTECH CHAMBER SPECIFICATIONS

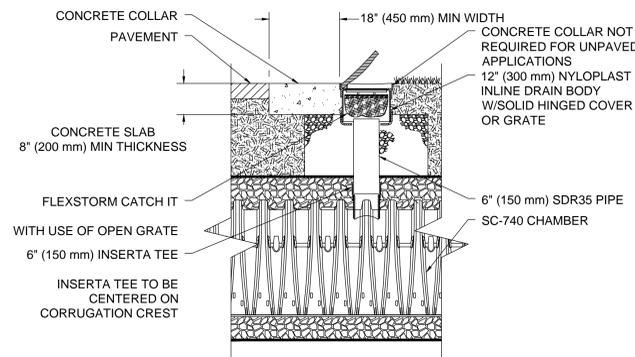
- CHAMBERS SHALL BE STORMTECH SC-740.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 550 LBS/IN. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.



PLACE MINIMUM 12.50' OF ADSPLUS125 WOVEN GEOTEXTILE OVER BEDDING STONE AND UNDERNEATH CHAMBER FEET FOR SCOUR PROTECTION AT ALL CHAMBER INLET ROWS

1 SUBSURFACE STORAGE SYSTEM

NOT TO SCALE



STORAGE CHAMBER 6" INSPECTION PORT DETAIL

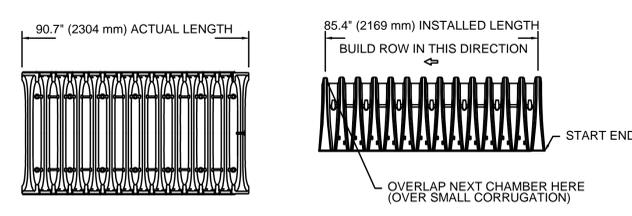
NTS

NOTES:

- STORAGE CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- STORAGE CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

SC-740 TECHNICAL SPECIFICATION

NTS



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	51.0" X 30.0" X 85.4"	(1295 mm X 762 mm X 2169 mm)
CHAMBER STORAGE	45.9 CUBIC FEET	(1.30 m ³)
MINIMUM INSTALLED STORAGE*	74.9 CUBIC FEET	(2.12 m ³)
WEIGHT	75.0 lbs.	(33.6 kg)

*ASSUMES 6" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS

- PRE-FAB STUB AT BOTTOM OF END CAP WITH FLAMP END WITH "BR"
PRE-FAB STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
PRE-FAB STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"
PRE-CORED END CAPS END WITH "PC"

PART #	STUB	A	B	C
SC740EPE06T / SC740EPE06TPC	6" (150 mm)	10.9" (277 mm)	18.5" (470 mm)	---
SC740EPE06B / SC740EPE06BPC	---	---	---	0.5" (13 mm)
SC740EPE08T / SC740EPE08TPC	8" (200 mm)	12.2" (310 mm)	16.5" (419 mm)	---
SC740EPE08B / SC740EPE08BPC	---	---	---	0.6" (15 mm)
SC740EPE10T / SC740EPE10TPC	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	---
SC740EPE10B / SC740EPE10BPC	---	---	---	0.7" (18 mm)
SC740EPE12T / SC740EPE12TPC	12" (300 mm)	14.7" (373 mm)	12.5" (318 mm)	---
SC740EPE12B / SC740EPE12BPC	---	---	---	1.2" (30 mm)
SC740EPE15T / SC740EPE15TPC	15" (375 mm)	18.4" (467 mm)	9.0" (229 mm)	---
SC740EPE15B / SC740EPE15BPC	---	---	---	1.3" (33 mm)
SC740EPE18T / SC740EPE18TPC	18" (450 mm)	19.7" (500 mm)	5.0" (127 mm)	---
SC740EPE18B / SC740EPE18BPC	---	---	---	1.6" (41 mm)
SC740EPE24B*	24" (600 mm)	18.5" (470 mm)	---	0.1" (3 mm)
SC740EPE24BR*	24" (600 mm)	18.5" (470 mm)	---	0.1" (3 mm)

ALL STUBS, EXCEPT FOR THE SC740EPE24B/SC740EPE24BR ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

* FOR THE SC740EPE24B/SC740EPE24BR THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL. NOTE: ALL DIMENSIONS ARE NOMINAL

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-740 SYSTEM

- STORMTECH SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4-2" (20-50 mm).
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- THE USE OF CONSTRUCTION EQUIPMENT OVER SC-740 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIRE LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

INSTALLATION NOTE

- NO INSTALLATION PORTS SHALL BE INSTALLED WITHIN THE BASKETBALL COURT.

Project Consultant

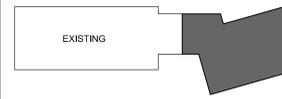
ISSUE DATE

DATE	DESCRIPTION
JUNE 13, 2022	ISSUED FOR BID

REVISIONS

DATE	DESCRIPTION
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FOR ALL ABBREVIATIONS, SYMBOL LEGENDS, AND GENERAL NOTES SEE SHEET R0.01



KEY PLAN



ACHIEVEMENT FIRST LUMINAR SCHOOL ADDITION

85 GARFIELD AVE, CRANSTON, RI, 02920

PROJECT NO.: 21012.02 DRAWN BY:

SITE DETAILS II

DRAWING NO.:

C2.02

Project Consultant

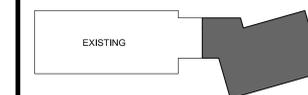


GREEN INTERNATIONAL AFFILIATES, INC.
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ISSUE DATE	
DATE	DESCRIPTION
JUNE 13, 2022	ISSUED FOR BID
OCTOBER 13, 2022	RIDEM RPD REVISIONS

REVISIONS	
DATE	DESCRIPTION

FOR ALL ABBREVIATIONS, SYMBOL LEGENDS, AND GENERAL NOTES SEE SHEET R0.01



KEY PLAN



ACHIEVEMENT FIRST ILLUMINAR SCHOOL ADDITION

85 GARFIELD AVE, CRANSTON, RI, 02920

PROJECT NO.: 21012.02

DRAWN BY:

SITE DETAILS III

DRAWING NO.:

C2.03

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